

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JUNE 24, 2025 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2025-023 (HENRY LEE)**

Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a *Soccer Complex and Parking Lot Expansion* for an existing *Corporate Campus* (i.e. *Rayburn Electric Cooperative*) being an 18.00-acre tract of land identified as a portion of Lot 1, 2 & 3, Block A, REC Campus Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 Overlay (SH-205 OV) District, zoned Planned Development District 44 (PD-44) for Heavy Commercial (HC) District and Commercial (C) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.

(2) **SP2025-024 (HENRY LEE)**

Discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a Site Plan for seven (7) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

(3) **SP2025-025 (ANGELICA GUEVARA)**

Discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for the approval of a Site Plan for the expansion of an existing *Church/House of Worship* (i.e. *Ridgeview Church*) on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on June 20, 2025 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/20/2025

PROJECT NUMBER: SP2025-023
PROJECT NAME: Site Plan for REC Campus Expansion Soccer Field & Parking
SITE ADDRESS/LOCATIONS: 2750 S GOLIAD ST, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a Soccer Complex and Parking Lot Expansion for an existing Corporate Campus (i.e. Rayburn Electric Cooperative) being an 18.00-acre tract of land identified as a portion of Lot 1, 2 & 3, Block A, REC Campus Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 Overlay (SH-205 OV) District, zoned Planned Development District 44 (PD-44) for Heavy Commercial (HC) District and Commercial (C) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	06/20/2025	Needs Review

06/20/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Soccer Complex and Parking Lot Expansion for an existing Corporate Campus (i.e. Rayburn Electric Cooperative) being an 18.00-acre tract of land identified as a portion of Lot 1, 2 & 3, Block A, REC Campus Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 Overlay (SH-205 OV) District, zoned Planned Development District 44 (PD-44) for Heavy Commercial (HC) District and Commercial (C) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-023) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish easements and establish new lot lines.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

(1) Please provide a schematic/detail of the proposed playground. (Subsection 03.04. B, of Article 11, UDC)

- (2) Please clarify what the staging area will be for. (Subsection 03.04. B, of Article 11, UDC)
- (3) Parking for the concession stand will be calculated at 1 per/100 SF for a total of ten (10) parking spaces. This brings the total required parking to 210. In addition, the parking table indicates that 248 parking spaces are being provided with Phase 1, however, only 213 are shown. (Subsection 03.04. B, of Article 11, UDC)
- (4) Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (5) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (6) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)
- (7) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (8) Please clarify if there will be any outside storage or above ground storage tanks. If so, it must be delineated on the site plan and property screened in accordance with Subsection 01.05, of Article 05, of the Unified Development Code (UDC). (Subsection 01.05, of Article 05, UDC)
- (9) Please provide a detail of the dumpster enclosure. In addition, the dumpster enclosure must be a minimum of eight (8) feet in height and use the same materials as the building. (Subsection 01.05. B, of Article 05, UDC)
- (10) The applicant is requesting to defer the construction of the Mims Road sidewalk until the roadway improvements are under construction.

M.7 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please delineate the landscape buffer along S. Goliad Street [SH-205]. In addition, the buffer must include three (3) canopy trees and four (4) accent trees per 100-feet of linear frontage. In addition, the landscape buffer must include a berm and a row of shrubs. (PD-44 Ordinance)
- (3) Any parking spaces that face onto a roadway must provide five (5) gallon evergreen shrubs in front of them to serve as headlight screening. Staff also recommends planting shrubs in front of the parking spaces that face onto the internal drive. (Subsection 05.02, of Article 08, UDC)

M.8 Treescap Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) The applicant is requesting an Alternative Tree Mitigation Settlement Agreement to (1) to allow the sample areas to be extrapolated and utilized to estimate the required mitigation, and (2) request that Eastern Red Cedar Trees not require mitigation. This brings the estimated mitigation to 99-caliper inches of trees. Based on the provided landscape plan, the estimated tree mitigation is satisfied. (Section 05, of Article 09, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (3) The light levels cannot exceed 20-FC anywhere on the subject property. This will be an Exception. (Subsection 03.03. G, of Article 07, UDC)
- (4) All light poles and fixtures cannot exceed 20-feet in total height. This will be a Variance. (Subsection 03.03. E, of Article 07, UDC)

M.10 Building Elevations

- (1) The minimum roof pitch is 6:12. In this case, a 4:12 roof pitch is proposed. This will be an Exception (Subsection 03.04. A, of Article 11, UDC)
- (2) Given that the subject property is within the SH-205 Overlay District, each side of the building is required to meet the primary articulation standards and incorporate four (4) sided architecture. In this case, the proposed concessions building does not meet these standards. That being said, the PD-44 Ordinance has consideration for non-conforming buildings that match the aesthetic of the Campus. These will be Variances. (Subsection 04.01, of Article 05, UDC)

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on July 1, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on June 24, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on July 15, 2025.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/17/2025	Approved

06/17/2025: 1. Don't cross the creek with the water line. Tie to the 12" water prior to the creek

2. Must extend RCP past curb returns and then install headwalls
3. Need to show City of Heath's 24" Transmission line (water) along SH 205
4. Is this a proposed building? Building should not be located on top of sewer line.
5. Dumpster enclosure must drain to an oil/water separator before draining into storm sewer system.
6. Min. 20' wide for all easements.
7. Fence may not cross water line.
8. Driveway spacing must meet TxDOT spacing minimum (495'). Call out distance.
9. Will this main be capped for future phase 2 or will you install all utilities with phase 1?
10. Don't cross the creek with the water line. Tie to the 12" water prior to the creek

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering.
- Artificial turf is not allowed.

Drainage Items:

- Detention is required if increasing impervious area.
- Detention calculations are based on property zoning, not land area use.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Emergency spillway required for detention pond.
- Detention ponds must be irrigated.
- No public water or sanitary sewer can be in detention easement.
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.

- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster or trash areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is currently an existing 12" water main and a 8" water main running along SH205 available for use if needed.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is currently an existing 10" sewer main and manhole on the southwest side of the property available for use if needed.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Sewer pro-rata (\$401.89/acre) due before plan release for construction

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Culverts (if needed) must be engineered.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/16/2025	Approved w/ Comments

06/16/2025: Address assignment for Concessions / RR Building and fields:
2750 S GOLIAD ST, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/17/2025	Approved w/ Comments

06/17/2025: 1. Tree Mitigation (410 trees required what are plans for balance)

2. Better turf varieties than Common Bermuda and 419 Tifway such as Tif Tuf, Tahoma 31, Latitude 36 that are more drought, shade, wear and cold tolerant. They are not available by seed for hydro-mulching.

06/17/2025: Head light screen required along 205 for parking

SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: SOCCER FIELDS & PARKING
 TOTAL AREA: 783,858 SQ FT 18.00 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED SITE PARKING DATA

PHASE	CAR PARKING SPACES	BUS PARKING SPACES	ACCESSIBLE SPACES	TOTAL
PHASE I	236	5	8	49
PHASE II	52	6	-	58
TOTAL	288	11	8	307

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____

WITNESS OUR HANDS, this ____ day of _____

 Planning & Zoning Commission, Chairman

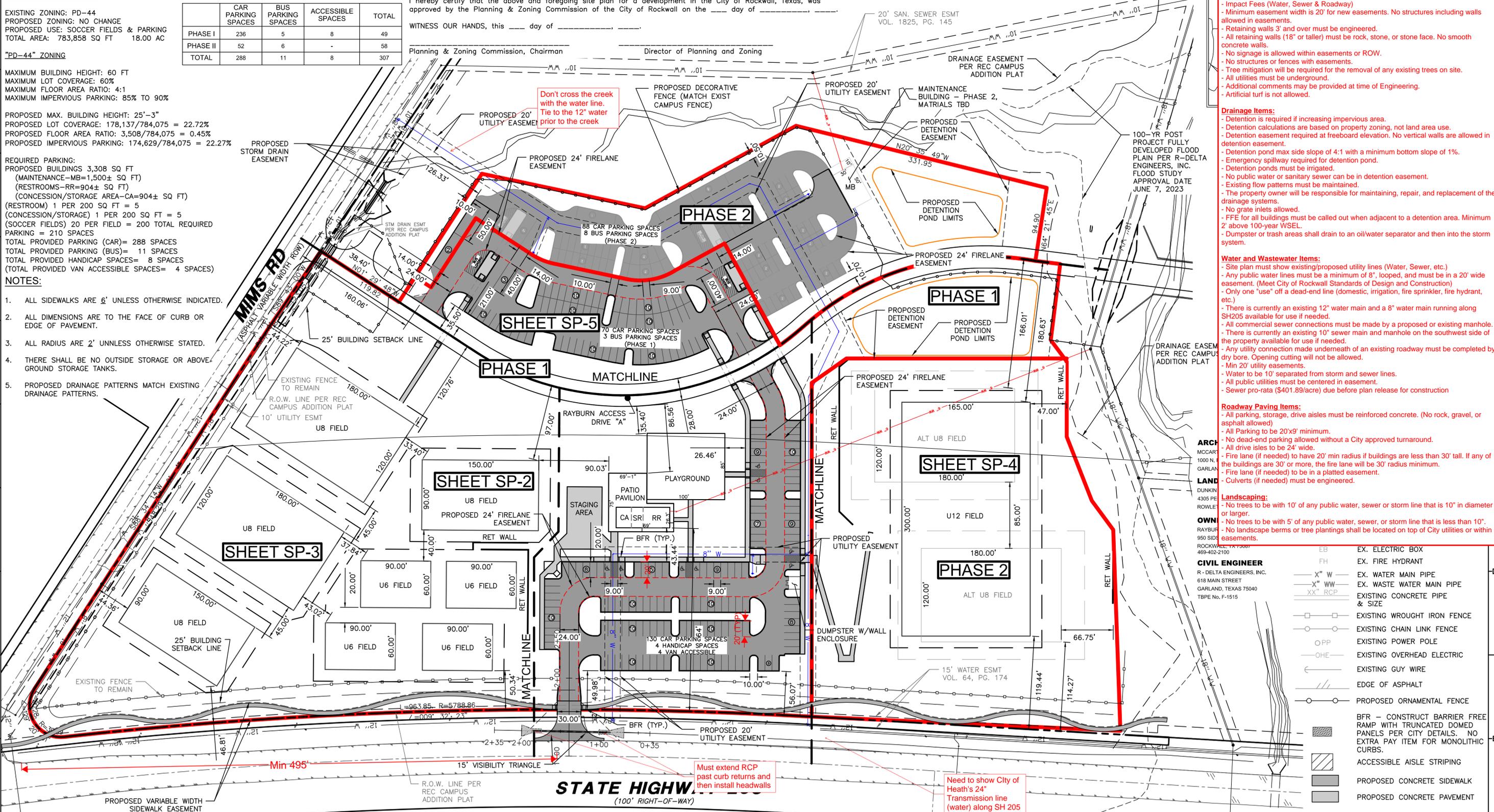
 Director of Planning and Zoning

PROPOSED MAX. BUILDING HEIGHT: 25'-3"
 PROPOSED LOT COVERAGE: 178,137/784,075 = 22.72%
 PROPOSED FLOOR AREA RATIO: 3,508/784,075 = 0.45%
 PROPOSED IMPERVIOUS PARKING: 174,629/784,075 = 22.27%

REQUIRED PARKING:
 PROPOSED BUILDINGS 3,308 SQ FT
 (MAINTENANCE-MB=1,500± SQ FT)
 (RESTROOMS-RR=904± SQ FT)
 (CONCESSION/STORAGE AREA-CA=904± SQ FT)
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 (CONCESSION/STORAGE) 1 PER 200 SQ FT = 5
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 TOTAL PROVIDED PARKING (CAR)= 288 SPACES
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 TOTAL PROVIDED HANDICAP SPACES= 8 SPACES
 (TOTAL PROVIDED VAN ACCESSIBLE SPACES= 4 SPACES)

NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.
- THERE SHALL BE NO OUTSIDE STORAGE OR ABOVE GROUND STORAGE TANKS.
- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.



- General Items:**
- Must meet City's 2023 Standards of Design and Construction Manual
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 - Impact Fees (Water, Sewer & Roadway)
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 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - There is currently an existing 12" water main and a 8" water main running along SH205 available for use if needed.
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - There is currently an existing 10" sewer main and manhole on the southwest side of the property available for use if needed.
 - Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
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 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

ARC:
 MCCART 1000 N. GARLAND
LAND:
 DUNKIN 4305 PE ROWLE
OWN:
 RAYBURN 950 SID ROCKWALL TX 75087 469-402-2100
CIVIL ENGINEER:
 R-DELTA ENGINEERS, INC.
 618 MAIN STREET GARLAND, TEXAS 75040
 TBPE No. F-1515

- EB EX. ELECTRIC BOX
- FH EX. FIRE HYDRANT
- X" W EX. WATER MAIN PIPE
- X" WW EX. WASTE WATER MAIN PIPE
- XX" RCP EXISTING CONCRETE PIPE & SIZE
- EXISTING WROUGHT IRON FENCE
- EXISTING CHAIN LINK FENCE
- OPP EXISTING POWER POLE
- OHE EXISTING OVERHEAD ELECTRIC
- EXISTING GUY WIRE
- EDGE OF ASPHALT
- PROPOSED ORNAMENTAL FENCE
- BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
- ACCESSIBLE AISLE STRIPING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
 Rayburn Electric
 COOPERATIVE

618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
 CITY SITE PLAN SUBMITTAL**

SITE INFORMATION:

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 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: SOCCER FIELDS & PARKING
 TOTAL AREA: 783,858 SQ FT 18.00 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
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 (MAINTENANCE-MB=1,500± SQ FT)
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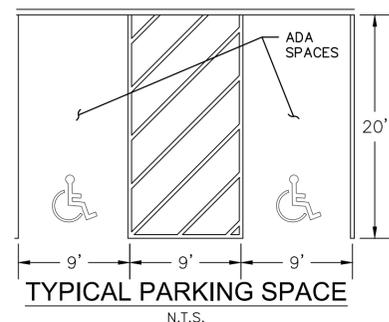
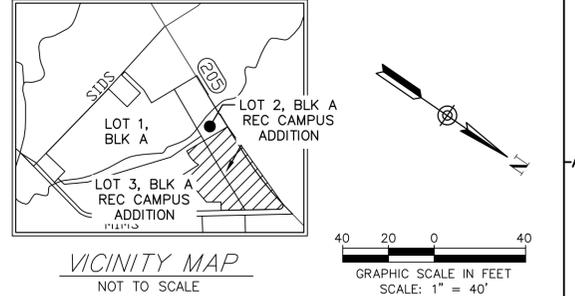
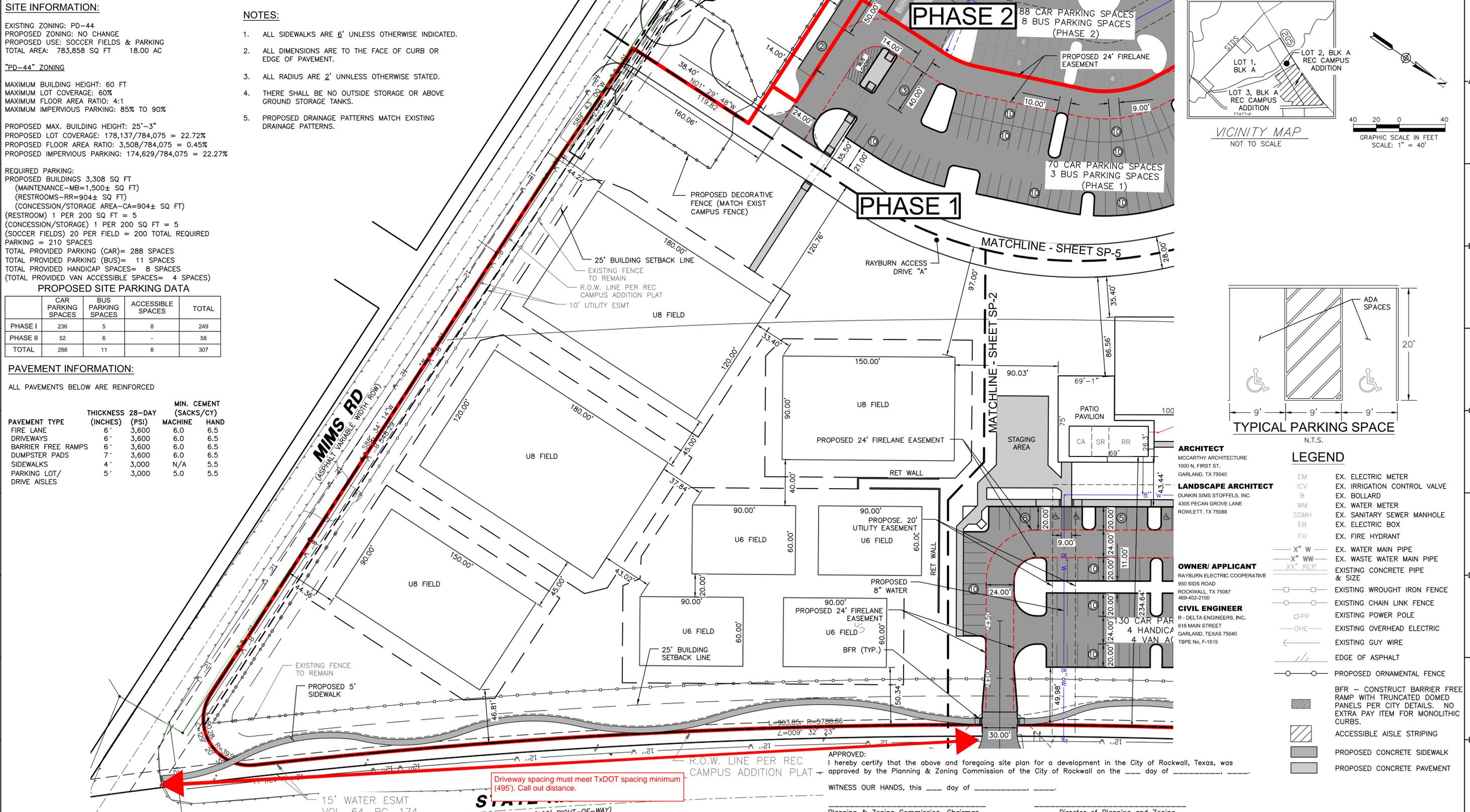
PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW ARE REINFORCED

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
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- ALL RADII ARE 2' UNLESS OTHERWISE STATED.
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- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.



- ARCHITECT**
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040
- LANDSCAPE ARCHITECT**
 DUNKIN SIMS STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088
- OWNER/ APPLICANT**
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 489-402-2100
- CIVIL ENGINEER**
 R-DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515
- LEGEND**
- EM EX. ELECTRIC METER
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 - ACCESSIBLE AISLE STRIPING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT

Driveway spacing must meet TxDOT spacing minimum (495'). Call out distance.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2025.

WITNESS OUR HANDS, this ___ day of ___, 2025.
 Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
 Rayburn Electric
 COOPERATIVE
 618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-3
APPROVED:	ISSUE: 0
FILENAME:	

REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
CITY SITE PLAN SUBMITTAL

SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: SOCCER FIELDS & PARKING
 TOTAL AREA: 783,858 SQ FT 18.00 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 25'-3"
 PROPOSED LOT COVERAGE: 178,137/784,075 = 22.72%
 PROPOSED FLOOR AREA RATIO: 3,508/784,075 = 0.45%
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REQUIRED PARKING:
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 (MAINTENANCE-MB=1,500± SQ FT)
 (RESTROOMS-RR=904± SQ FT)
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NOTES:

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TOTAL	288	11	8	307

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SIDEWALKS	4"	3,000	N/A	5.5	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	5.5

APPROVED:

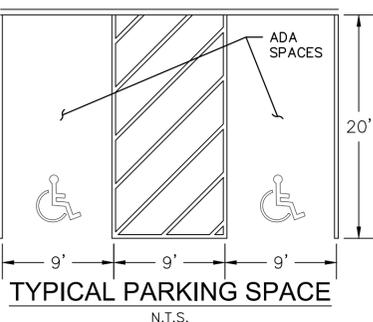
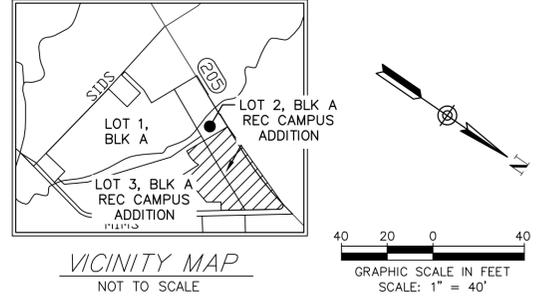
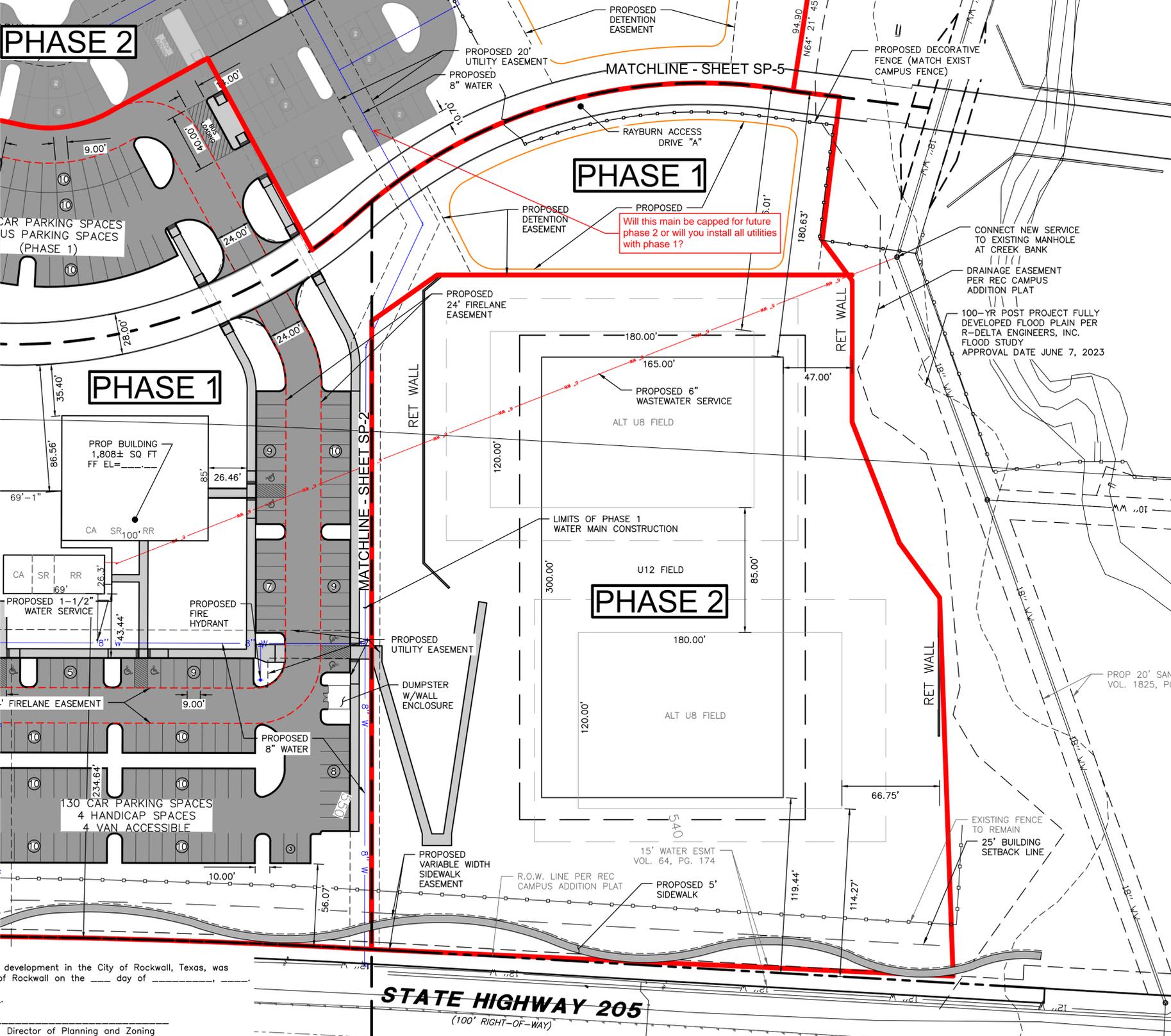
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WITNESS OUR HANDS, this ___ day of _____,

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 Director of Planning and Zoning

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rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21 DESIGN BY JMJ
 CREATED CODE
 PLOTTED 06/12/2025 CHECKED BY RDE
 LAST UPDATE BY
 DRAWN: RDE SCALE: AS NOTED
 CHECKED: DRAWING NO.:
 APPROVED: **SP-4** ISSUE:
 FILENAME: **0**

REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
S.H. 205
ROCKWALL, TX 75032
CASE # -
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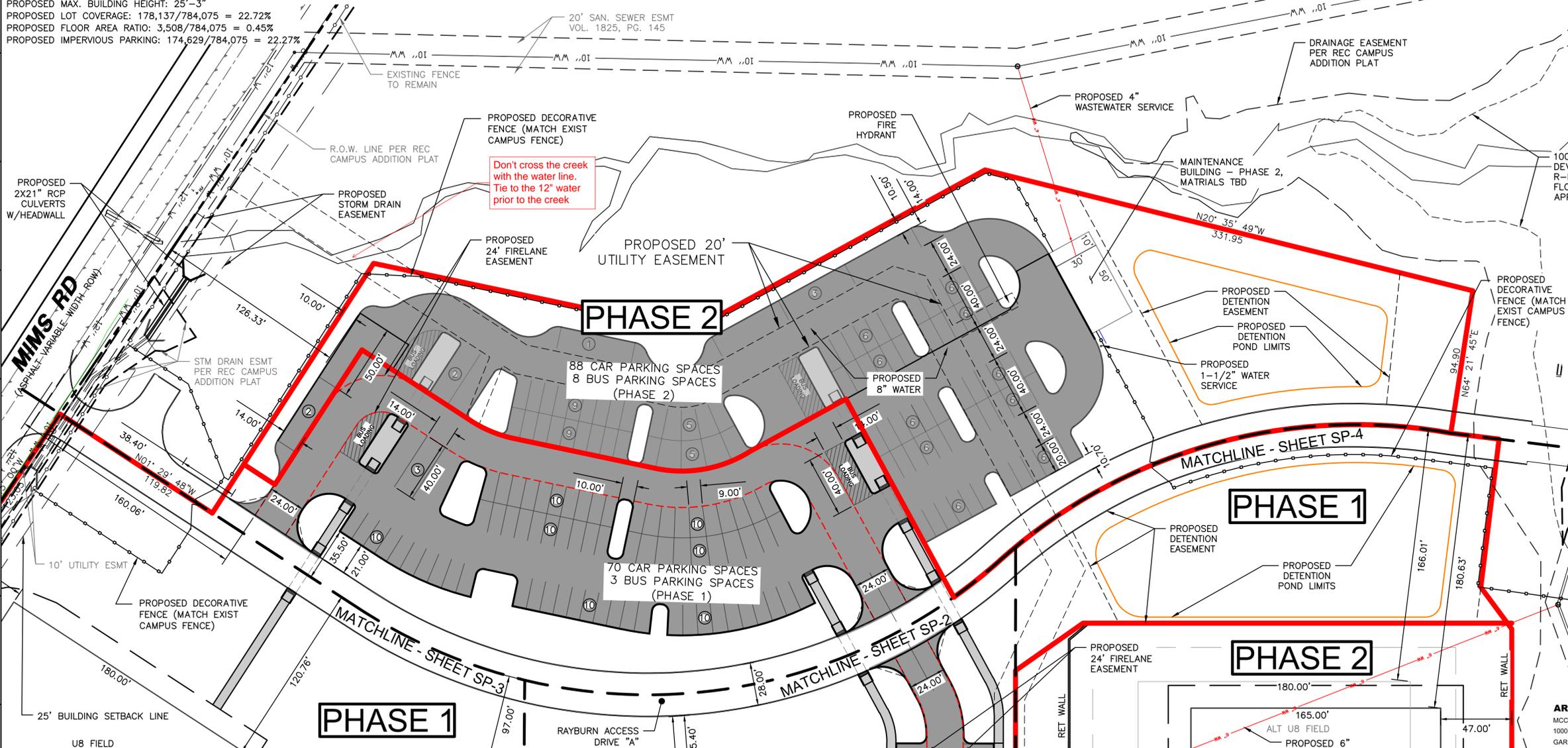
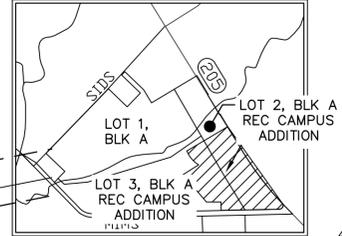
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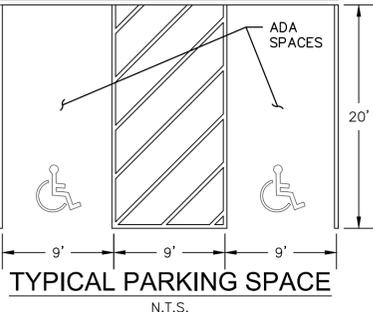
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Don't cross the creek with the water line. Tie to the 12" water prior to the creek



LEGEND

- CA CONCESSION AREA
- SR STORAGE ROOM
- RR RESTROOMS
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rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-5
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
 CITY SITE PLAN SUBMITTAL**



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 Sids Road, Rockwall Tx 75032

SUBDIVISION REC Campus Addition

LOT 2 & 3 BLOCK A

GENERAL LOCATION North West corner of SH 205 and Mims Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-44

CURRENT USE Vacant

PROPOSED ZONING PD-44

PROPOSED USE Outdoor Sports Recreation

ACREAGE 18

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn Electric Cooperative

APPLICANT R-Delta Engineers, Inc.

CONTACT PERSON David Naylor

CONTACT PERSON Frank A. Ploma, P.E.

ADDRESS 950 Sids Rd

ADDRESS 618 Main Street

CITY, STATE & ZIP Rockwall, Tx 75032

CITY, STATE & ZIP Garland, Tx 75040

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

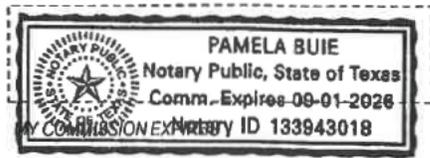
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$610.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF June 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature]
[Handwritten Signature]





SP2025-023: Site Plan for 950 Sids Road



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





June 12, 2025

City of Rockwall, Texas
385 S. Goliad Street
Rockwall, Texas 75087

**ATTENTION: Mr. Henry Lee, AICP
Planner**

**SUBJECT: Rayburn Electric Cooperative Campus
Rayburn Electric Soccer Complex
Variance Requests**

Dear Mr. Lee,

Pursuant to submittal of the project Site Plan and supporting documents and on behalf of Rayburn Electric Cooperative (REC); we seek approval of the following variance requests to address items not in compliance with the City of Rockwall Unified Development Code (UDC):

- Sidewalk Waiver (Mims Road frontage).
- Waiver of mitigation requirements for Cedar Trees

With regard to the sidewalk waiver, Rayburn requests that the Mims Road frontage sidewalk be deferred and included in the future roadway reconstruction.

The Soccer Complex, proposed and entirely funded by Rayburn Electric Cooperative, will be of great benefit to the citizens of Rockwall. No public funding is proposed for this project. The facility will be available for use by Rockwall youth soccer organizations Rockwall schools, and other local area organizations.

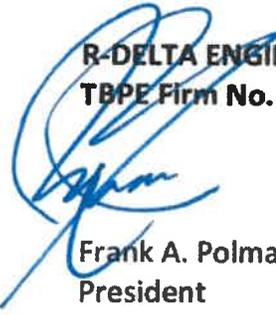
The mitigation waiver for removal of Cedar trees greater than 8-feet in height is requested due to the extremely large (876) number of Canopy Tree plantings that would be required per the current UDC. The previous UDC mitigation requirement for Cedar trees was limited to trees greater than 11-inches DBH. The 8-foot height threshold is a relatively recent (2024) addition to the Rockwall UDC. The project cannot support the expense of Cedar tree mitigation and will not move forward without this waiver.

Proposed compensatory measures include the following:

- Increased articulation on the concession building façade.
- Peaked roof forms and varied heights on the concession building front façade.
- Large canopies on the concession building.
- Rayburn Electric Cooperative's funding of this significant project for public use.

We greatly appreciate your consideration of these variance requests.

Best Regards,



R-DELTA ENGINEERS, INC.
TBPE Firm No. F-001515

Frank A. Polma, P.E.
President

Cc: Mr. David Naylor, P.E. – Rayburn Electric Cooperative
Mr. Stephen Geiger, P.E. – Rayburn Electric Cooperative

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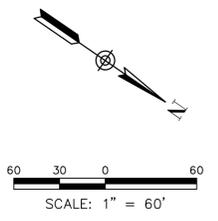
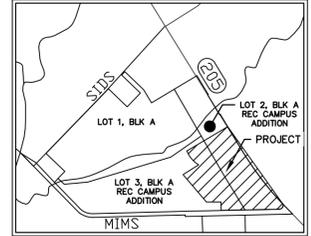
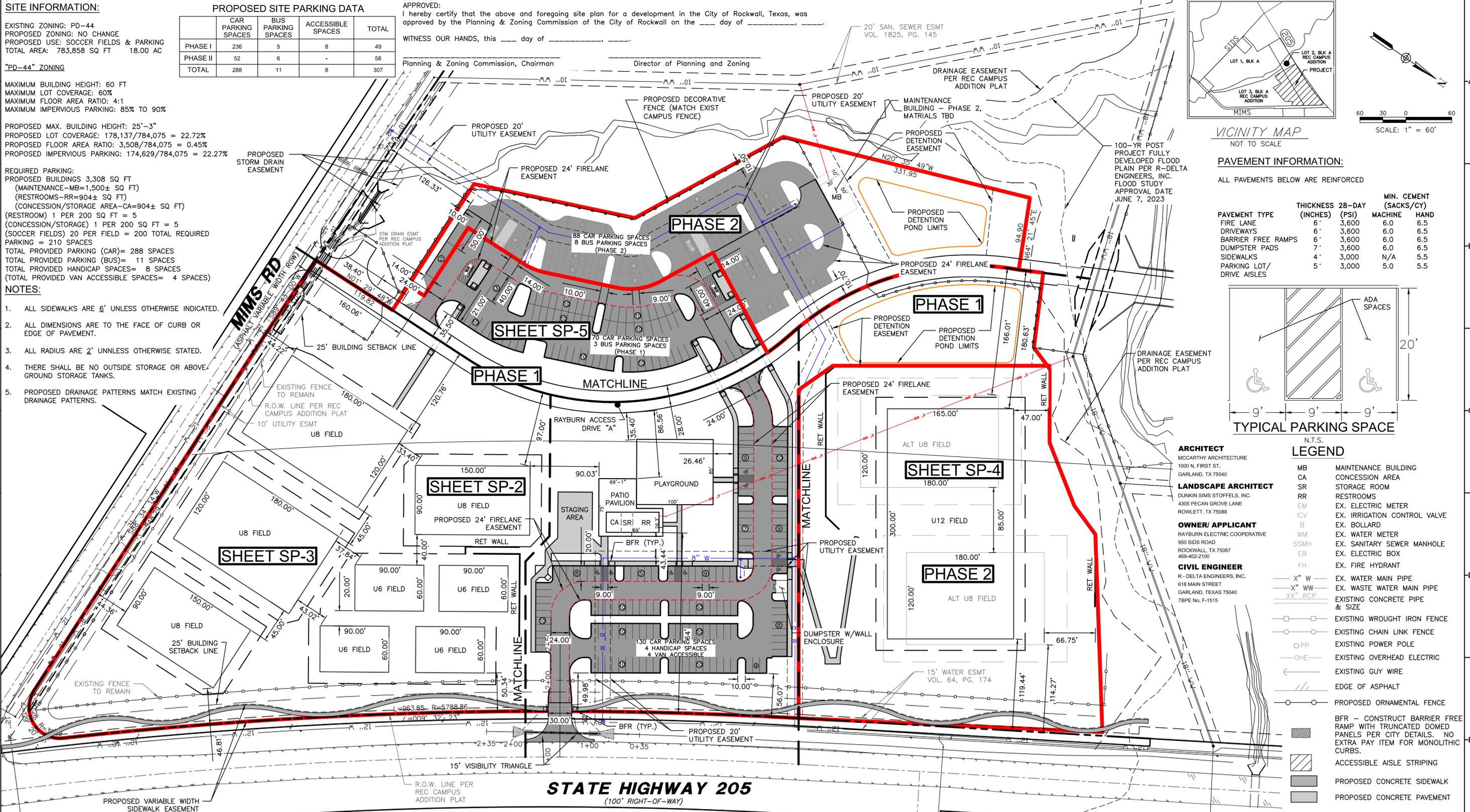
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- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.

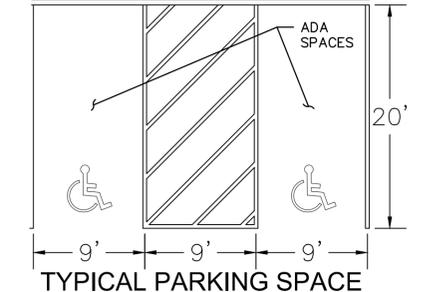


VICINITY MAP
 NOT TO SCALE

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW ARE REINFORCED

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5	
DRIVEWAYS	6"	3,600	6.0	6.5	
BARRIER FREE RAMPS	6"	3,600	6.0	6.5	
DUMPSTER PADS	7"	3,600	6.0	6.5	
SIDEWALKS	4"	3,000	N/A	5.5	
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	



LEGEND

MB	MAINTENANCE BUILDING
CA	CONCESSION AREA
SR	STORAGE ROOM
RR	RESTROOMS
EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
[Symbol]	EXISTING WROUGHT IRON FENCE
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[Symbol]	EXISTING POWER POLE
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING GUY WIRE
[Symbol]	EDGE OF ASPHALT
[Symbol]	PROPOSED ORNAMENTAL FENCE
[Symbol]	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
[Symbol]	ACCESSIBLE AISLE STRIPING
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[Symbol]	PROPOSED CONCRETE PAVEMENT

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
 Rayburn Electric COOPERATIVE
 618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
 CITY SITE PLAN SUBMITTAL**

SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: SOCCER FIELDS & PARKING
 TOTAL AREA: 783,858 SQ FT 18.00 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 25'-3"
 PROPOSED LOT COVERAGE: 178,137/784,075 = 22.72%
 PROPOSED FLOOR AREA RATIO: 3,508/784,075 = 0.45%
 PROPOSED IMPERVIOUS PARKING: 174,629/784,075 = 22.27%

REQUIRED PARKING:
 PROPOSED BUILDINGS 3,308 SQ FT
 (MAINTENANCE-MB=1,500± SQ FT)
 (RESTROOMS-RR=904± SQ FT)
 (CONCESSION/STORAGE AREA-CA=904± SQ FT)
 (RESTROOM) 1 PER 200 SQ FT = 5
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NOTES:

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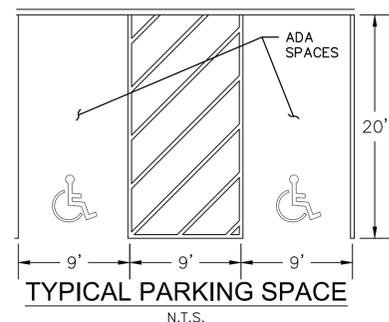
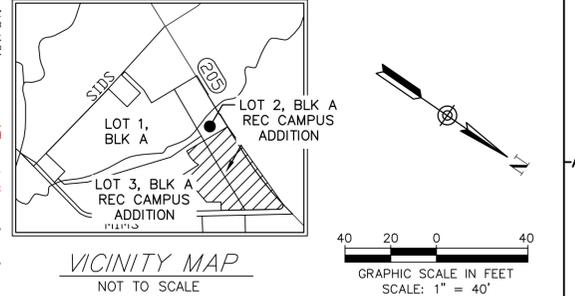
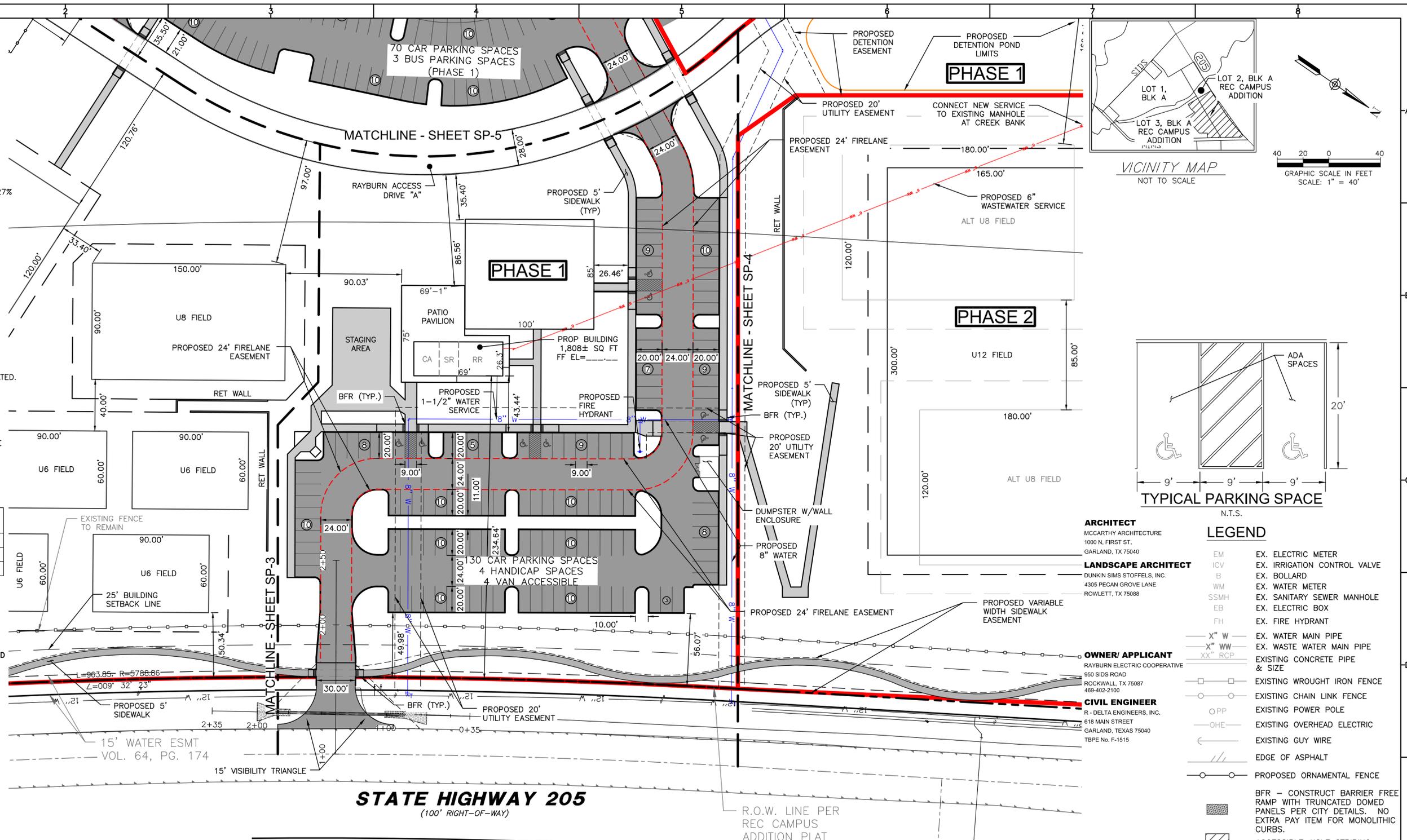
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	CAR PARKING SPACES	BUS PARKING SPACES	ACCESSIBLE SPACES	TOTAL
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 ROWLETT, TX 75088

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 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 489-402-2100

CIVIL ENGINEER
 R-DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

LEGEND

- EM EX. ELECTRIC METER
- ICV EX. IRRIGATION CONTROL VALVE
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- ACCESSIBLE AISLE STRIPING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

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 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21 DESIGN BY JMJ
 CREATED CODE
 PLOTTED 06/12/2025 CHECKED BY RDE
 LAST UPDATE BY

DRAWN: RDE SCALE: AS NOTED
 CHECKED: DRAWING NO.:
 APPROVED: **SP-2** ISSUE:
 FILENAME: **0**

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
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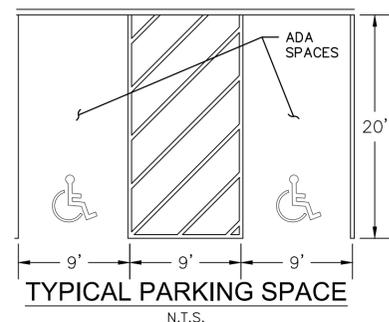
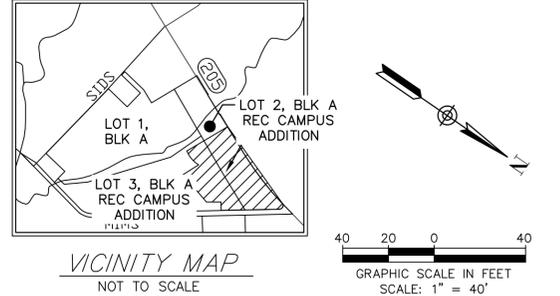
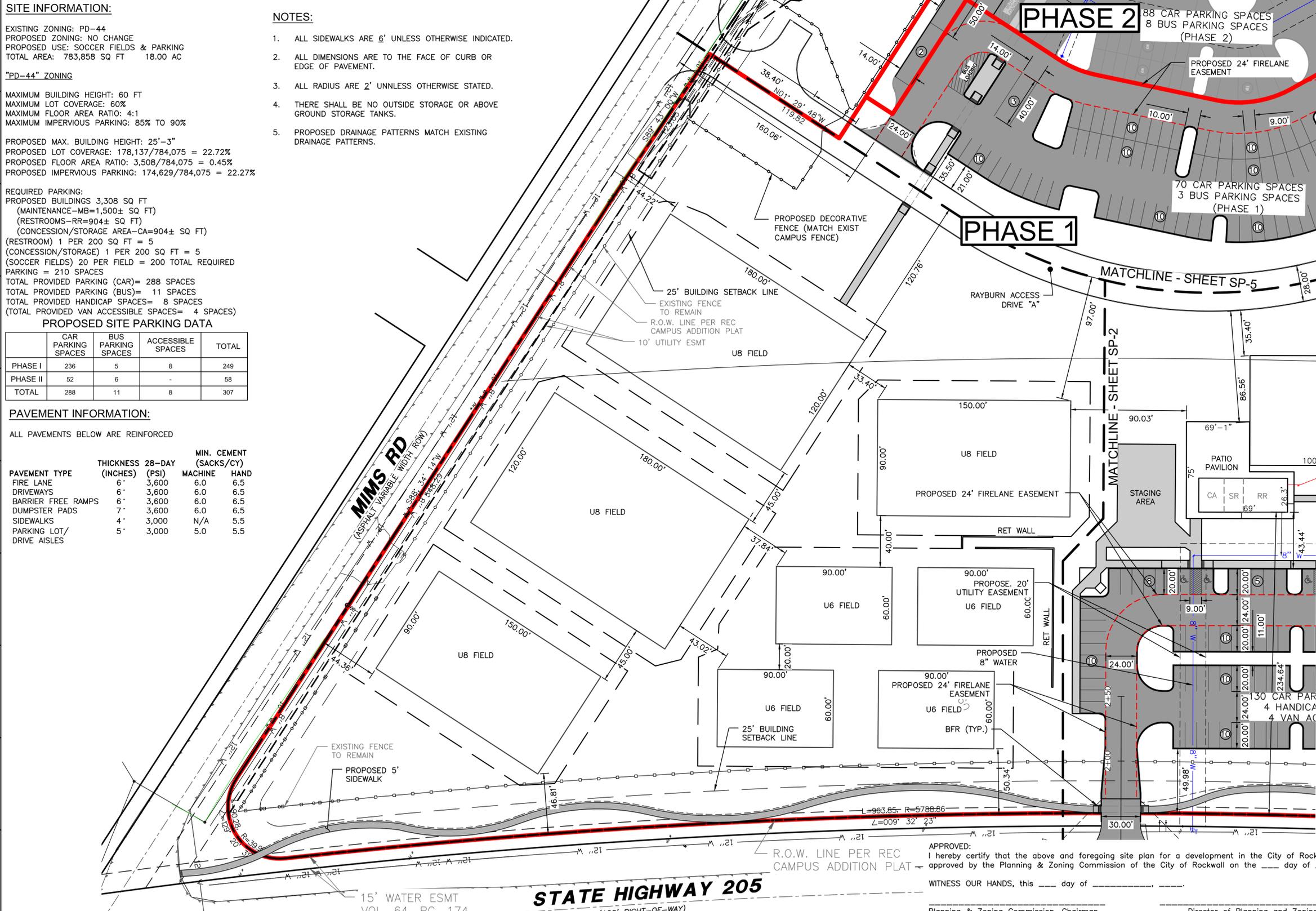
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- EM EX. ELECTRIC METER
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APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2025.

WITNESS OUR HANDS, this ___ day of _____, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
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 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-3
APPROVED:	ISSUE: 0
FILENAME:	

REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
CITY SITE PLAN SUBMITTAL

SITE INFORMATION:

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"PD-44" ZONING

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APPROVED:

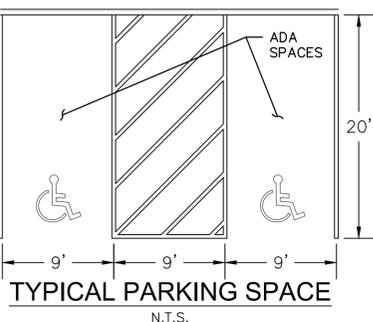
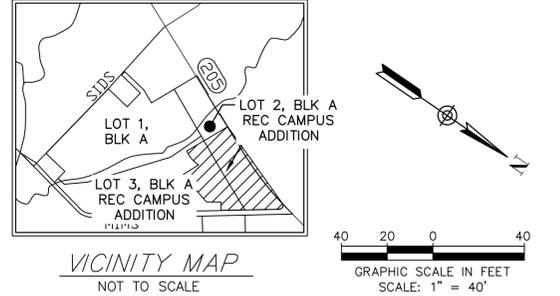
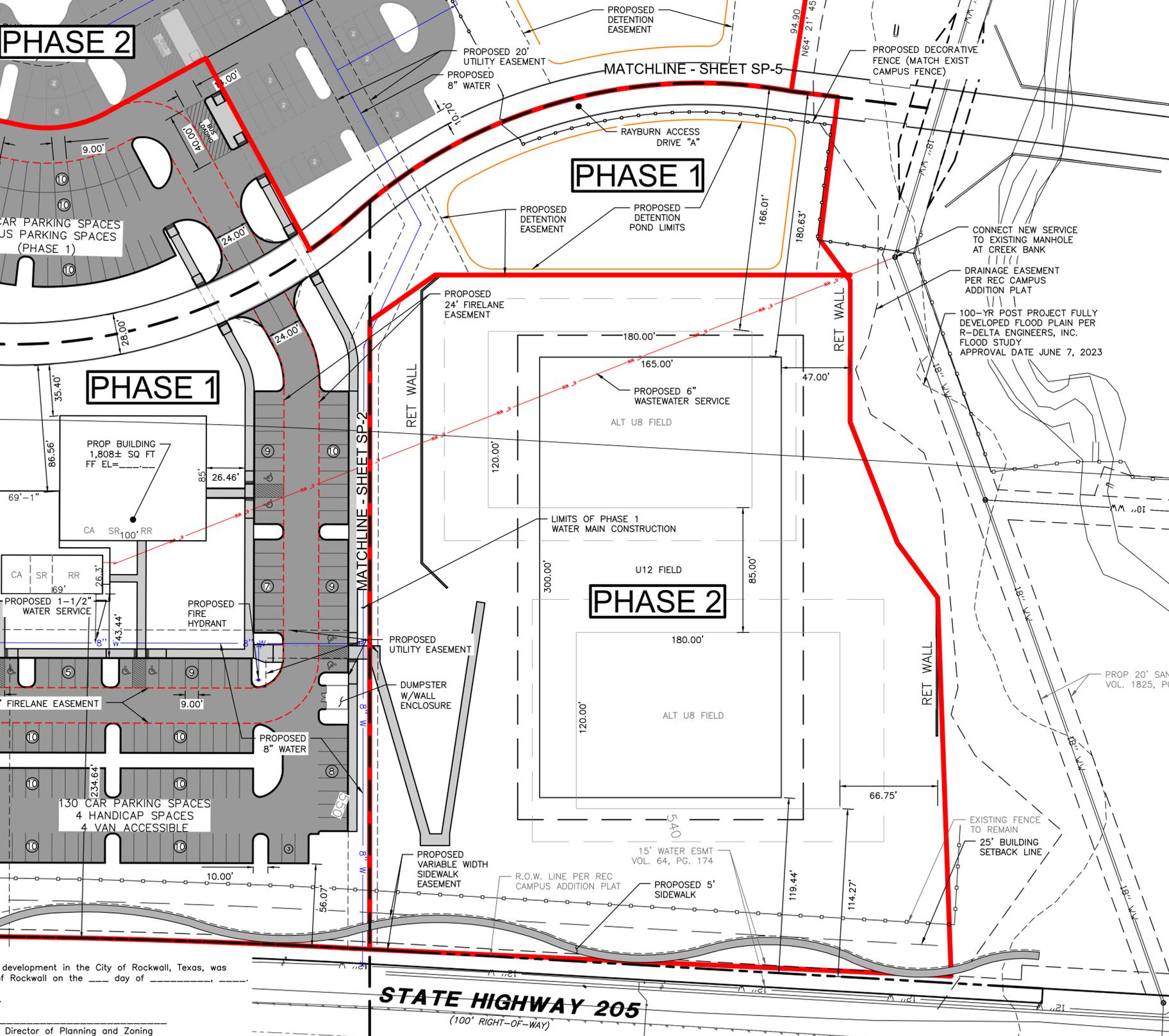
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____,

WITNESS OUR HANDS, this ___ day of _____,

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
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 LAST UPDATE BY
 DRAWN: RDE SCALE: AS NOTED
 CHECKED: DRAWING NO.:
 APPROVED: **SP-4** ISSUE:
 FILENAME: **0**

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 SOCCER FIELDS & PARKING
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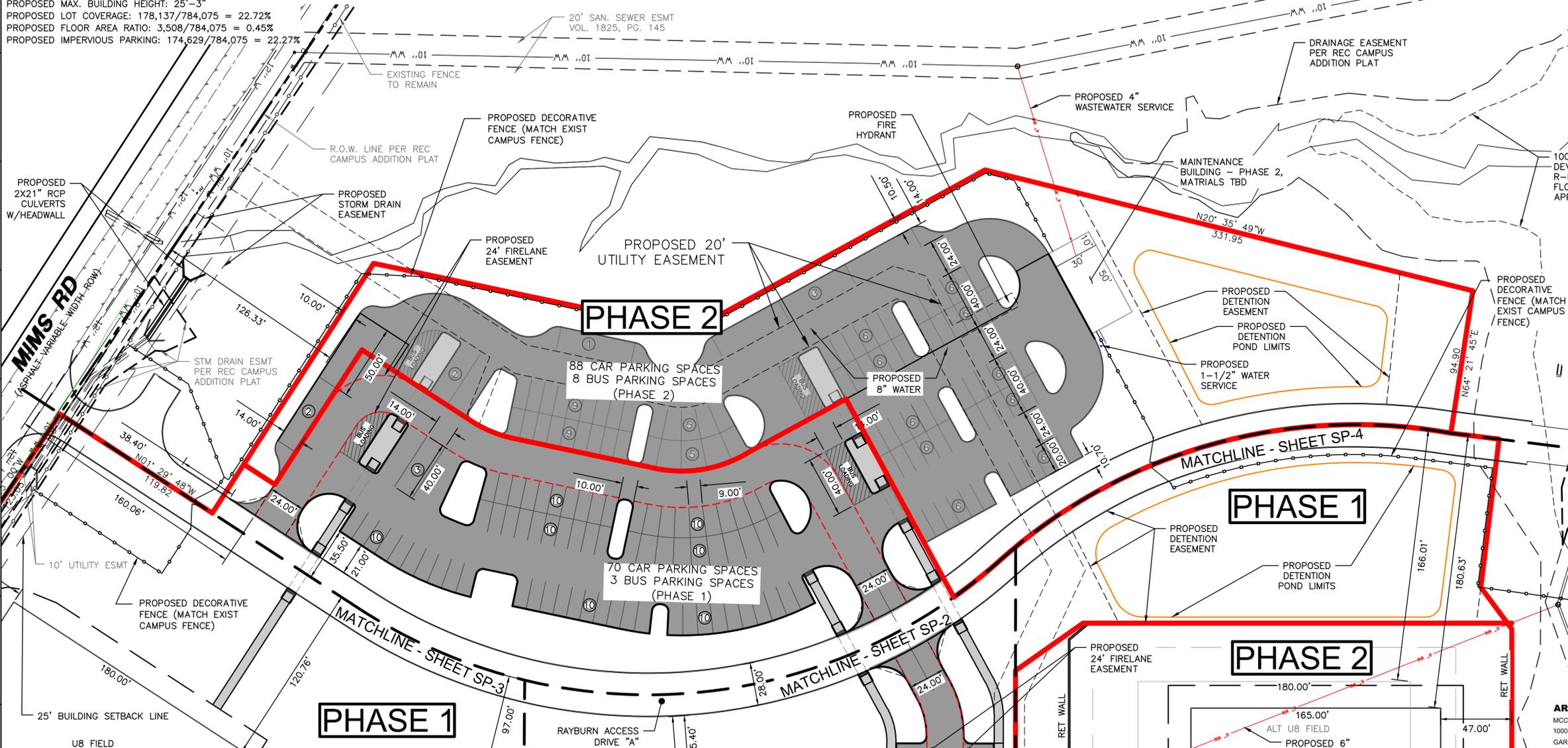
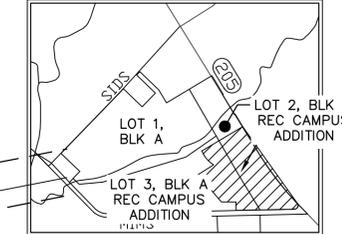
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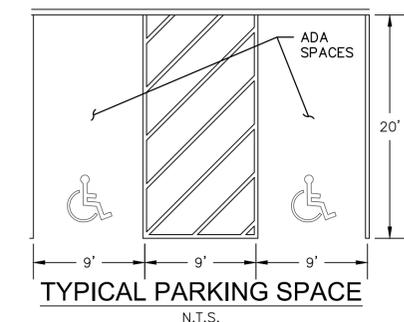
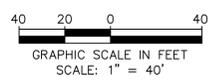
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- XX" RCP EXISTING CONCRETE PIPE & SIZE
- EXISTING WROUGHT IRON FENCE
- EXISTING CHAIN LINK FENCE
- OPP EXISTING POWER POLE
- OHE EXISTING OVERHEAD ELECTRIC
- EXISTING GUY WIRE
- EDGE OF ASPHALT
- PROPOSED ORNAMENTAL FENCE
- BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
- ACCESSIBLE AISLE STRIPING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT

NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.
- THERE SHALL BE NO OUTSIDE STORAGE OR ABOVE GROUND STORAGE TANKS.
- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW ARE REINFORCED

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

PROPOSED SITE PARKING DATA

	CAR PARKING SPACES	BUS PARKING SPACES	ACCESSIBLE SPACES	TOTAL
PHASE I	236	5	8	249
PHASE II	52	6	-	58
TOTAL	288	11	8	307

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
 WITNESS OUR HANDS, this ___ day of _____.
 Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

ARCHITECT
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040

LANDSCAPE ARCHITECT
 DUNKIN SIMS STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088

OWNER/ APPLICANT
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100

CIVIL ENGINEER
 R- DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	06/12/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: FRANK A. POLMA
 P.E. 80274
 R-Delta Engineers, Inc.
 Date: June 12, 2025
 NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 06/12/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-5
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 S.H. 205
 ROCKWALL, TX 75032
 CASE # _____
 CITY SITE PLAN SUBMITTAL**

DESIGN TEAM

OWNER:
RAYBURN ELECTRIC CO-OP
950 SIDS RD.
ROCKWALL, TX 75032
P: 469.402.2100

ARCHITECT:
MCCARTHY ARCHITECTURE
1000 N. FIRST ST.
GARLAND, TX. 75040
P: 972.272.2500

STRUCTURAL ENGINEER:
**BLAKE WILSON
ENGINEERING, PLLC**
1848 NORTHWOOD PLAZA
SUITE 113, HURST, TEXAS 76054
P: 817.268.2345 P
P: 817.282.1636 F

MEP ENGINEER:
**MEP SYSTEMS DESIGN AND
ENGINEERING, INC.**
918 DRAGON ST
DALLAS, TEXAS 75207
P: 214.915.0929

CONSTRUCTION MANAGER:
**PULLIAM CONSTRUCTION
MANAGEMENT**
303 S. JACKSON ST., SUITE 100
WYLIE, TEXAS 75098
P: 972.442.0400

BUILDING MATERIAL



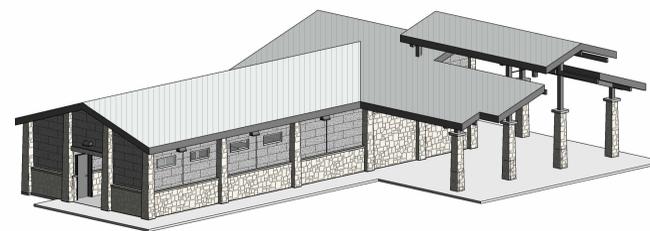
**DARK BRONZE
ALUM. FRAME**



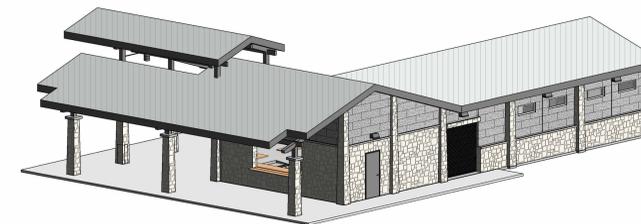
**STONE - BUFF
LUEDERS
LIMESTONE**



**CMU - SPILT
FACE
CONCRETE
BLOCK**



5 3D VIEW
SCALE:

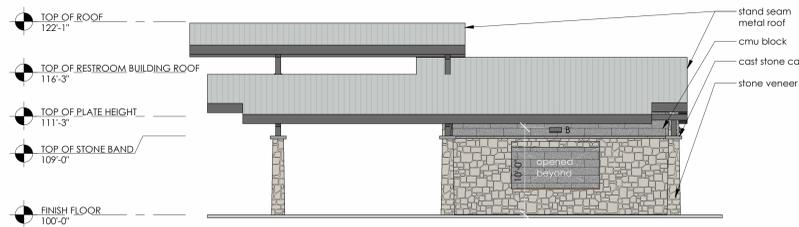


6 3D VIEW
SCALE:

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	EAST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS, LIGHTS, ROOF	247.05 S.F.	100%
Stone - Buff lueders limestone	211.10 S.F.	85.43%
Cmu - Spilt face concrete block	36.40 S.F.	14.71%

GENERAL NOTE:
1. ROOF NOT PART OF ELEVATION CALCULATIONS (TYP. TO ALL ELEVATIONS)
2. COLUMN STONE & STONE CAP INCLUDED IN STONE WALL CALCULATIONS



4 CONCESSION ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	EAST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS, LIGHTS, ROOF	752.66 S.F.	100%
Stone - Buff lueders limestone	402.56 S.F.	53.46%
Cmu - Spilt face concrete block	350.10 S.F.	46.54%



3 CONCESSION ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

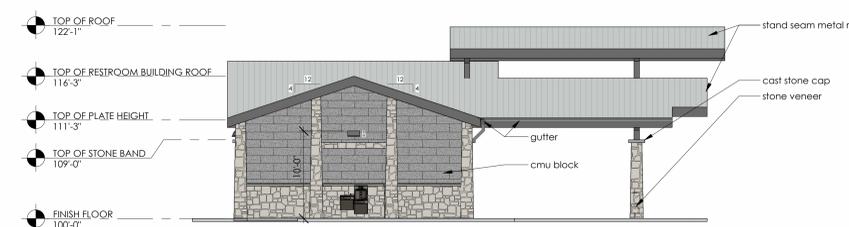
CATEGORIES	SOUTH	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS, LIGHTS, ROOF, DOWNSPOUT	822.04 S.F.	100%
Stone - Buff lueders limestone	448.78 S.F.	54.5%
Cmu - Spilt face concrete block	373.62 S.F.	45.5%



2 CONCESSION ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	EAST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS, LIGHTS, ROOF	352.02 S.F.	100%
Stone - Buff lueders limestone	187.99 S.F.	53%
Cmu - Spilt face concrete block	164.50 S.F.	47%



1 CONCESSION ELEVATION
SCALE: 1/8" = 1'-0"

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WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SEAL

Copyright © 2025
DATE: 6.12.2025
SCALE:
JOB NO. 25006
DRAWN: DM
APP'D: Approver
ACAD #
EXTERIOR ELEVATIONS & 3D
VIEWS - CONCESSION
BUILDING

DRAWING NO. REV NO.

A4.00

OWNER:
RAYBURN ELECTRIC CO-OP
 950 SIDS RD.
 ROCKWALL, TX 75032
 P: 469.402.2100

ARCHITECT:
MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX. 75040
 P: 972.272.2500

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CONSTRUCTION MANAGER:
PULLIAM CONSTRUCTION MANAGEMENT
 303 S. JACKSON ST., SUITE 100
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ISSUE

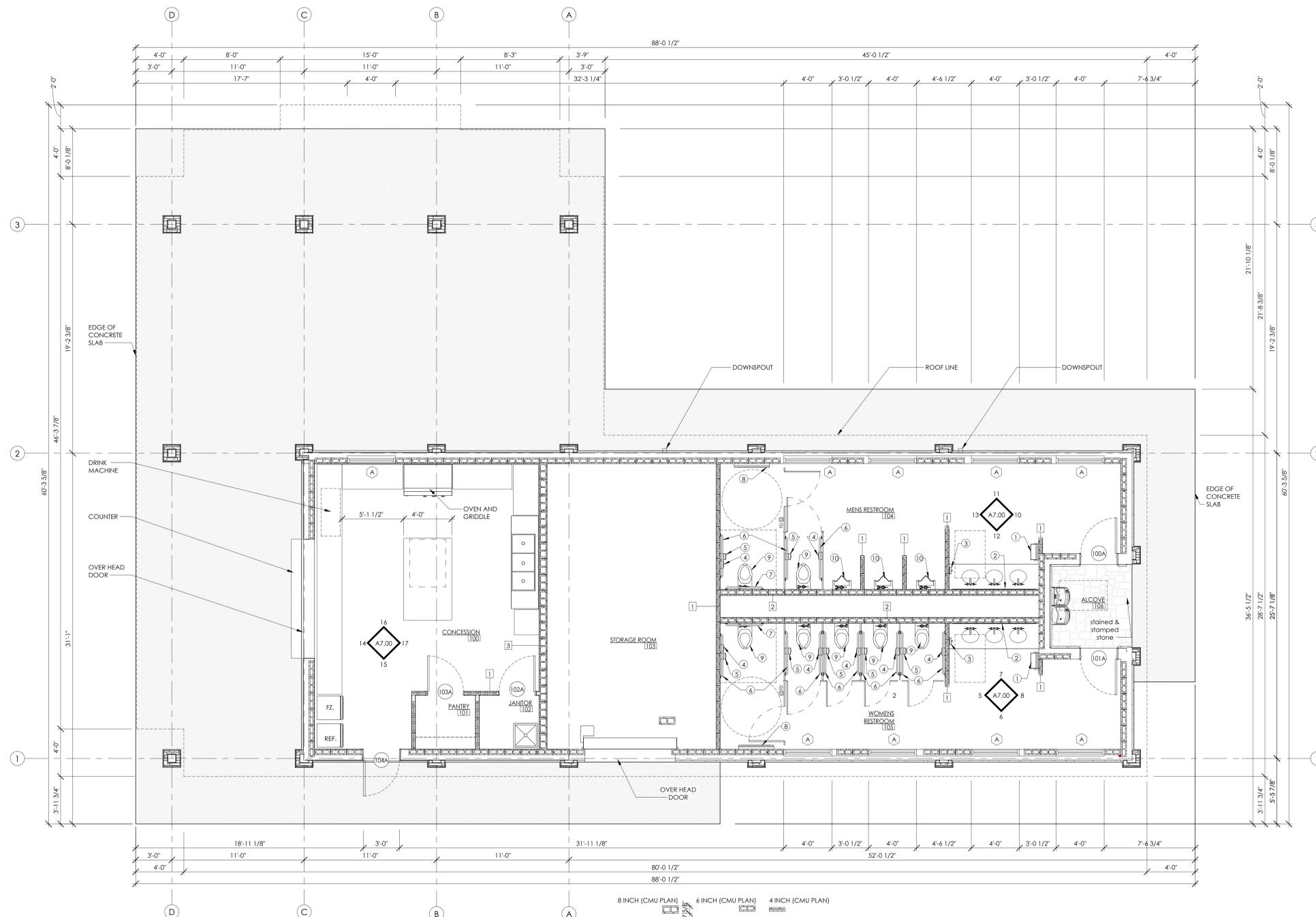
SEAL

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DATE: 6.12.2025
 SCALE: 25006
 JOB NO. DM
 DRAWN: Approver
 APD: Approver
 ACAD #
 FLOOR PLAN - CONCESSION BUILDING

DRAWING NO. REV NO.

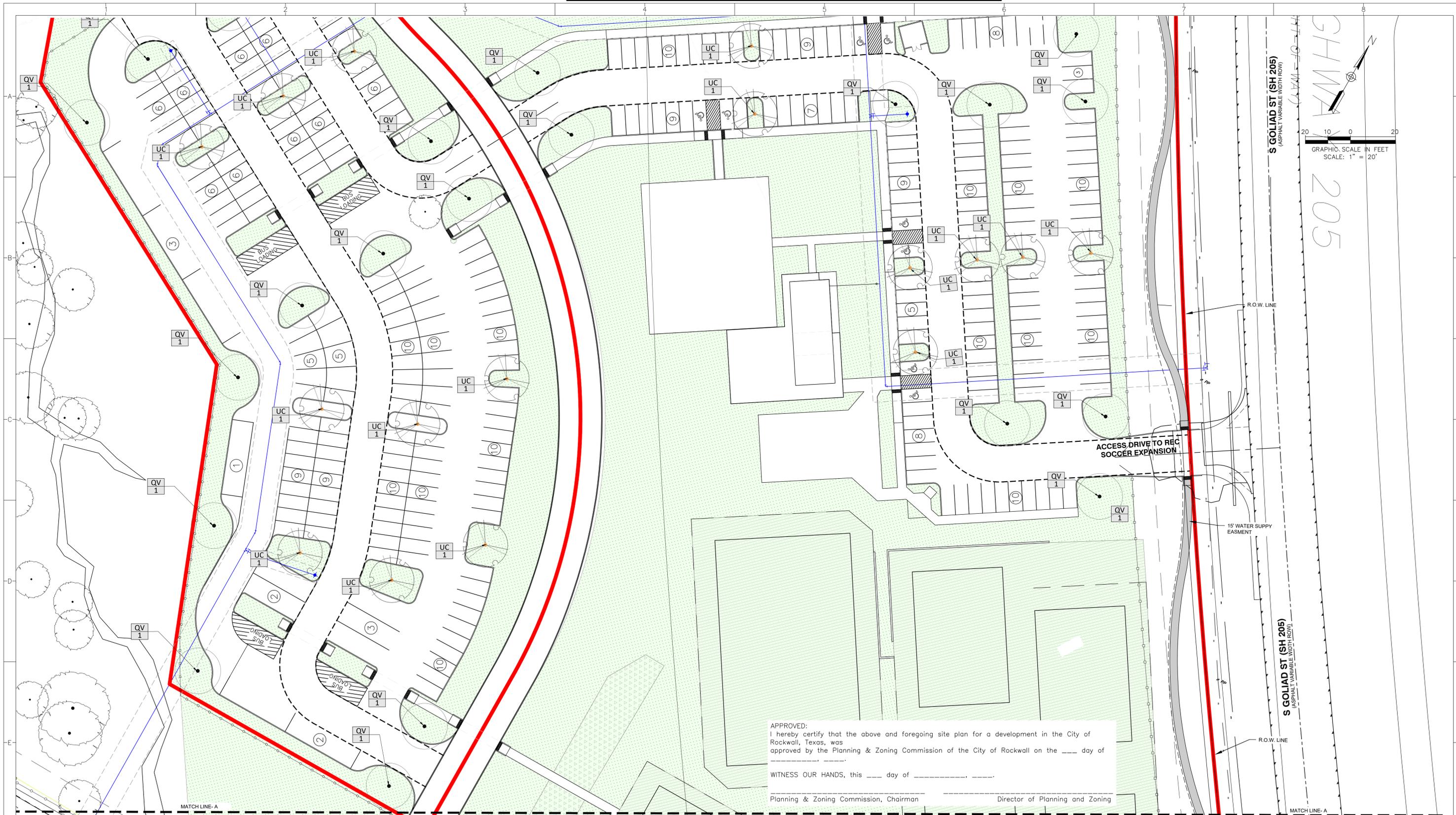
A2.00



- FLOOR PLAN GENERAL NOTES**
1. Reference A0.01 for all accessibility requirements.
 2. Reference structural for location of all columns.

- TOILET ACCESSORIES**
1. BOBRICK B - 3939 SURFACED MOUNTED PAPER TOWEL - WASTE RECEPTACLE
 2. BOBRICK B-2908 2436 MIRROR
 3. BOBRICK 818615 SOAP DISPENSER
 4. BOBRICK B - 270 SANITARY NAPKIN DISPOSAL
 5. BOBRICK B-4288 TOILET TISSUE DISPENSER
 6. BOBRICK B-5806X42 GRAB BAR 42"
 7. BOBRICK B-5806X36 GRAB BAR 36"
 8. KOALA KARE KB200 BABY CHANGING STATION 1
 9. MCA AMERICAN STANDARD WALL MOUNTED TOILET 2257.001
 10. MCA AMERICAN STANDARD URINAL 6590.125

1 SOCCER CONCESSION - FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

0	05/21/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

REC
RayburnElectric
 COOPERATIVE

618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: Bob Stoffels

Dunkin Sims Stoffels, Inc.
 Date: May 23, 2025

NOT FOR CONSTRUCTION, BIDDING
 OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	5/21/2025	CHECKED BY	BS
		LAST UPDATE BY	
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:			

REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
SH 205
ROCKWALL, TX 75032

LANDSCAPE PLAN

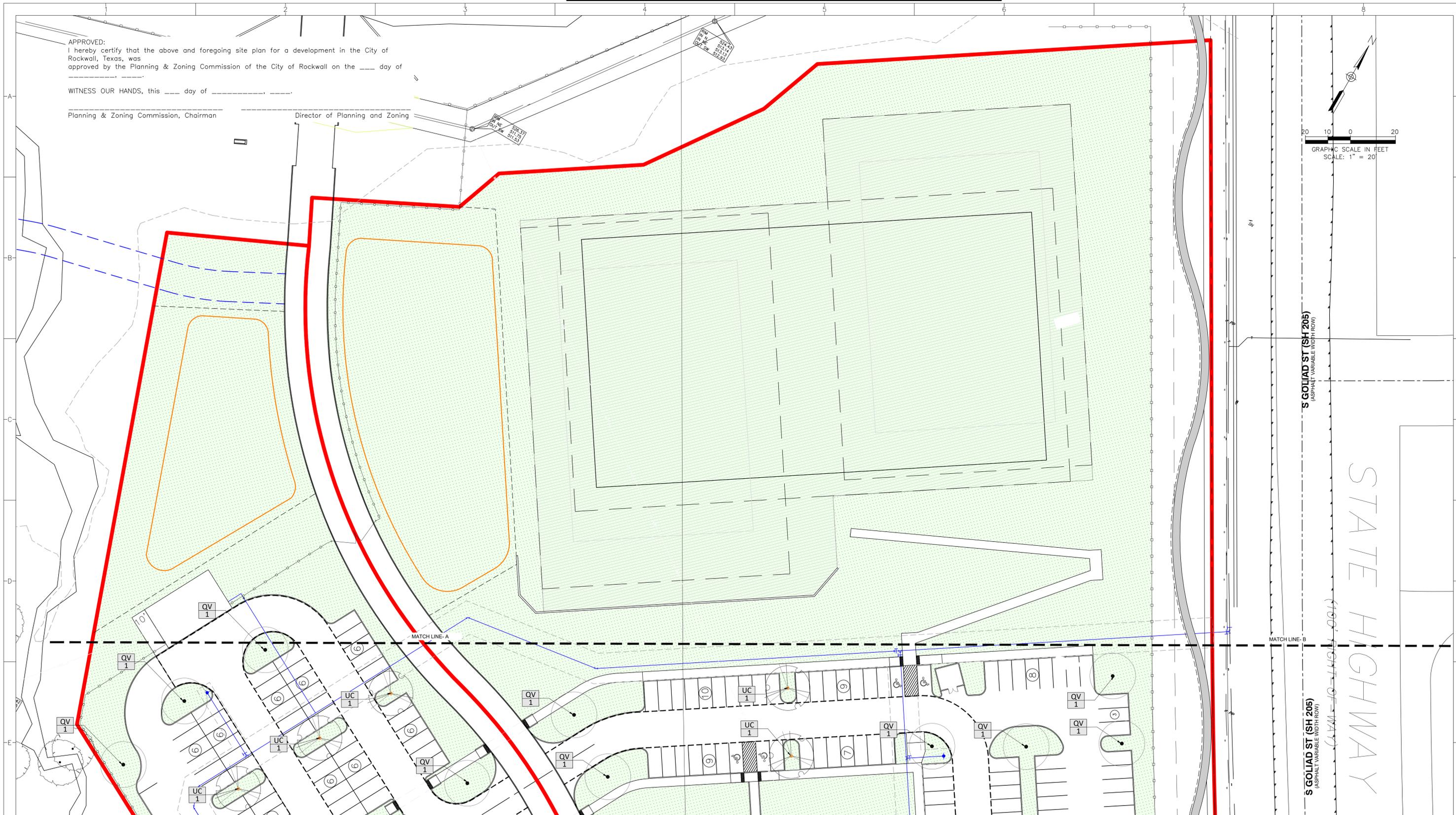
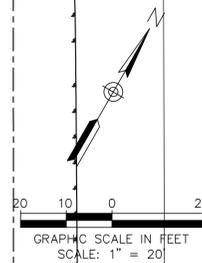
LP-3 0

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



0 05/21/2025 BS BS BS ISSUED FOR REVIEW

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

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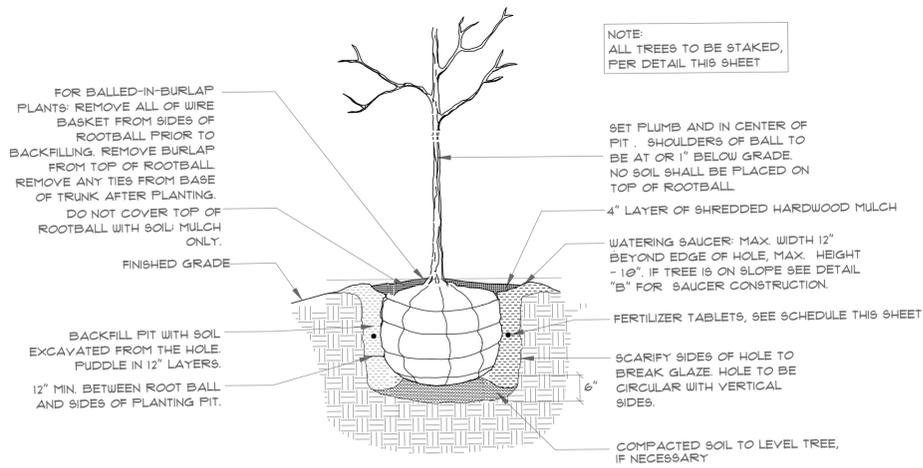
Dunkin Sims Stoffels, Inc.
Date: May 23, 2025

NOT FOR CONSTRUCTION, BIDDING
OR PERMITTING PURPOSES

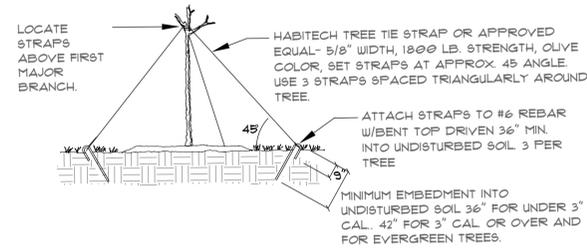
JOB NO. 3036-21	DESIGN BY BS
CREATED	CODE
PLOTTED 5/21/2025	CHECKED BY BS
LAST UPDATE BY	
DRAWN: MW	SCALE: AS NOTED
CHECKED:	DRAWING NO.: LP-4
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
SH 205
ROCKWALL, TX 75032**

LANDSCAPE PLAN

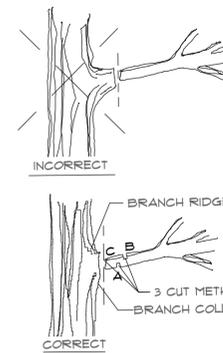


A SECTION: TREE PLANTING - B&B, BOX, CONT.
NTS



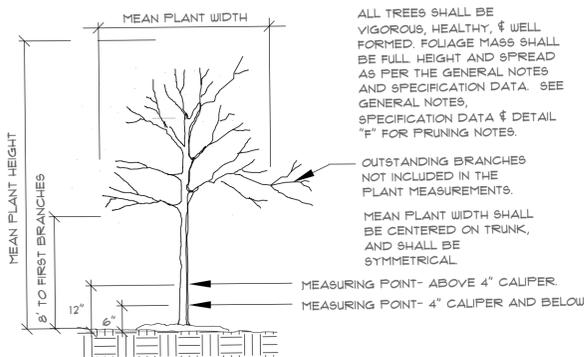
RE: GENERAL NOTES AND SPECIFICATION DATA FOR PLANTING NOTES.

B SECTION: TREE GUYING
NTS



- PRUNING NOTES:**
1. REMOVE ALL BROKEN, DISEASED, OR WEAK BRANCHES.
 2. MAKE ALL CUTS AS CLOSE TO THE BRANCH AS POSSIBLE-LEAVE THE BRANCH COLLAR.
 3. DO NOT CUT A LEADER.
 4. PRUNE SO AS TO RETAIN THE NATURAL FORM OF THE TREE.
 5. REMOVE APPROXIMATELY 1/3 OF INTERIOR BRANCHING.
 6. DO NOT TIP PRUNE.
 7. CONTACT LANDSCAPE ARCHITECT PRIOR TO PRUNING FOR FURTHER INSTRUCTIONS.
 8. CUTS OVER 1/2" DIAMETER MADE TO TREES OF THE OAK FAMILY (IE RED OAK, LIVE OAK, BUR OAK, ETC.) FROM FEBRUARY 15 - DECEMBER 15 SHALL BE PAINTED WITH TREE PRUNING PAINT IMMEDIATELY FOLLOWING PRUNING (ONE HOUR MAX.) APPLY SUFFICIENT COATS TO ENSURE SEALING OF THE CUT.
 9. REMOVE LARGE LIMBS BY PERFORMING THE 3-CUT METHOD.

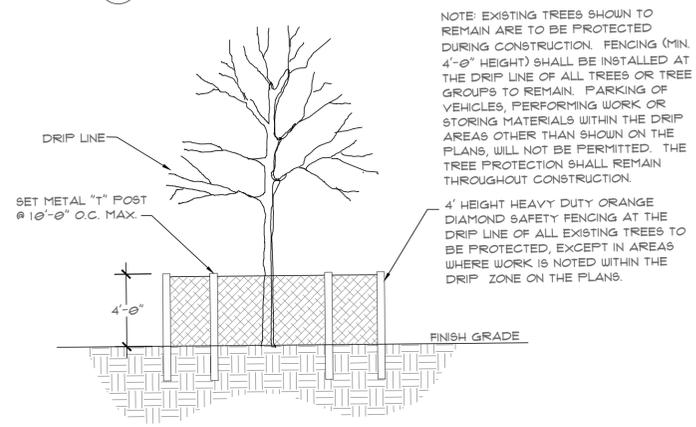
C SECTION: TREE PRUNING
NTS



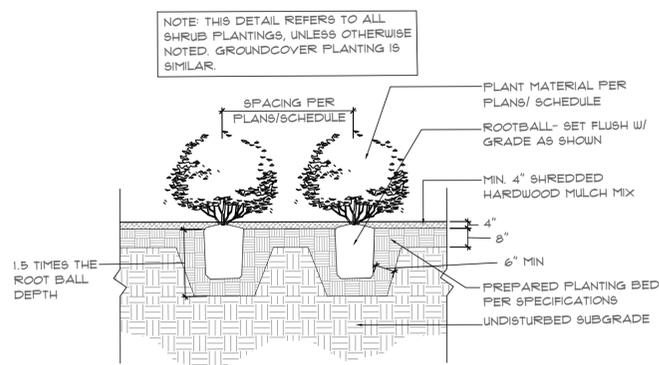
D SECTION: TREE MEASURING
NTS

TREES		SHRUBS AND PERENNIALS:
5-GALLON TREES 2 AGRIFORM*	21 GRAM TABLETS	1-GALLON AND SMALLER 1 AGRIFORM* 21 GRAM TABLET
15-GALLON TREES 3 AGRIFORM*	21 GRAM TABLETS	3 TO 5-GALLON AND B&B MATERIAL WITH SPREADS TO THREE (3) FT. 2 AGRIFORM* 21 GRAM TABLETS
30-GALLON AND ALL B&B MATERIAL 1 AGRIFORM*	21 GRAM TABLET PER CALIPER EACH ONE-HALF (1/2) INCH OF CALIPER	15-GALLON AND B&B MATERIAL WITH SPREADS GREATER THAN THREE (3) FT. 3 AGRIFORM* 21 GRAM TABLETS
SPACE TABLETS EVENLY AROUND ROOT BALL APPROX. 8" BELOW GRADE. PLACE NEXT TO BALL		PLACE TABLETS AT A DEPTH APPROX. 1/3 BALL DEPTH AND NEXT TO BALL
* OR APPROVED EQUAL		* OR APPROVED EQUAL

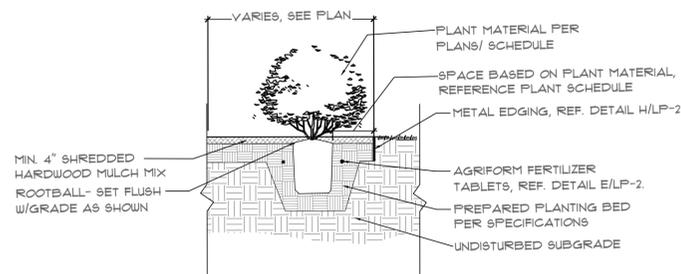
E CHART: FERTILIZER SCHEDULE
NTS



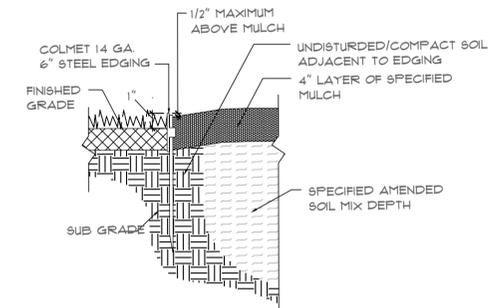
C SECTION: TREE PROTECTION
NTS



F DETAIL: LANDSCAPE BED W/ MULCH
NOT TO SCALE



G SECTION: LANDSCAPE BED W/ MULCH AND METAL EDGING
NOT TO SCALE



H SECTION: METAL EDGING
NOT TO SCALE

0	05/19/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric
COOPERATIVE

618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
Fax (972) 487-2270
www.rdelta.com
TBPE No. F-1515

rdelta
ENGINEERS

PRELIMINARY
SUBMITTED FOR REVIEW
BY: Bob Stoffels

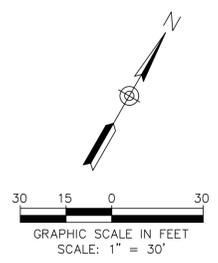
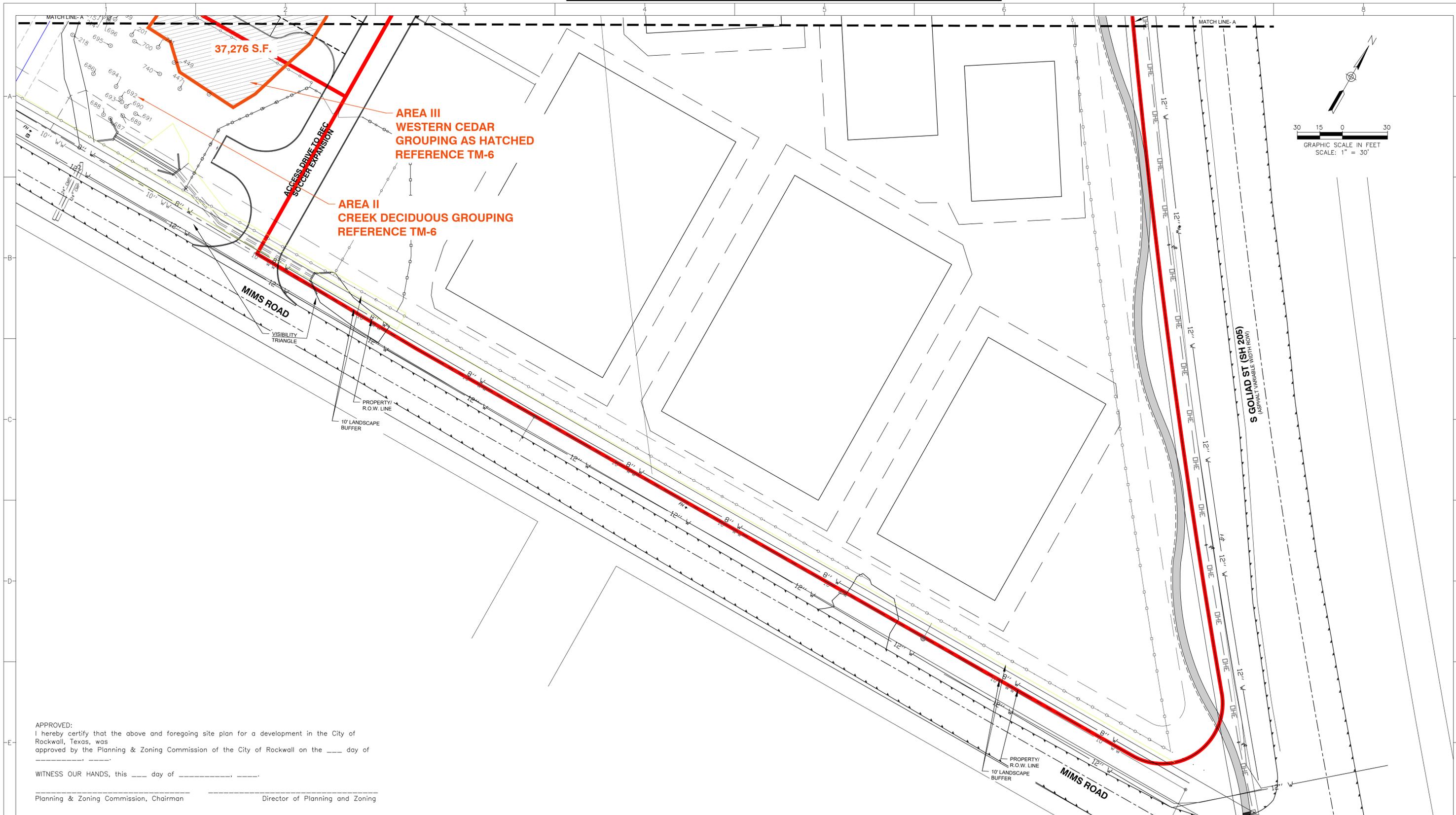
Dunkin Sims Stoffels, Inc.
Date: May 23, 2025

NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	5/19/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	ISSUE:
APPROVED:		LP-5	0
FILENAME:			

**REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
SH 205
ROCKWALL, TX 75032**

LANDSCAPE DETAILS



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

0	06/11/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

REC
RayburnElectric
 COOPERATIVE

r.delta
 ENGINEERS

618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
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 TBPE No. F-1515

PRELIMINARY
 SUBMITTED FOR REVIEW
 BY: Bob Stoffels

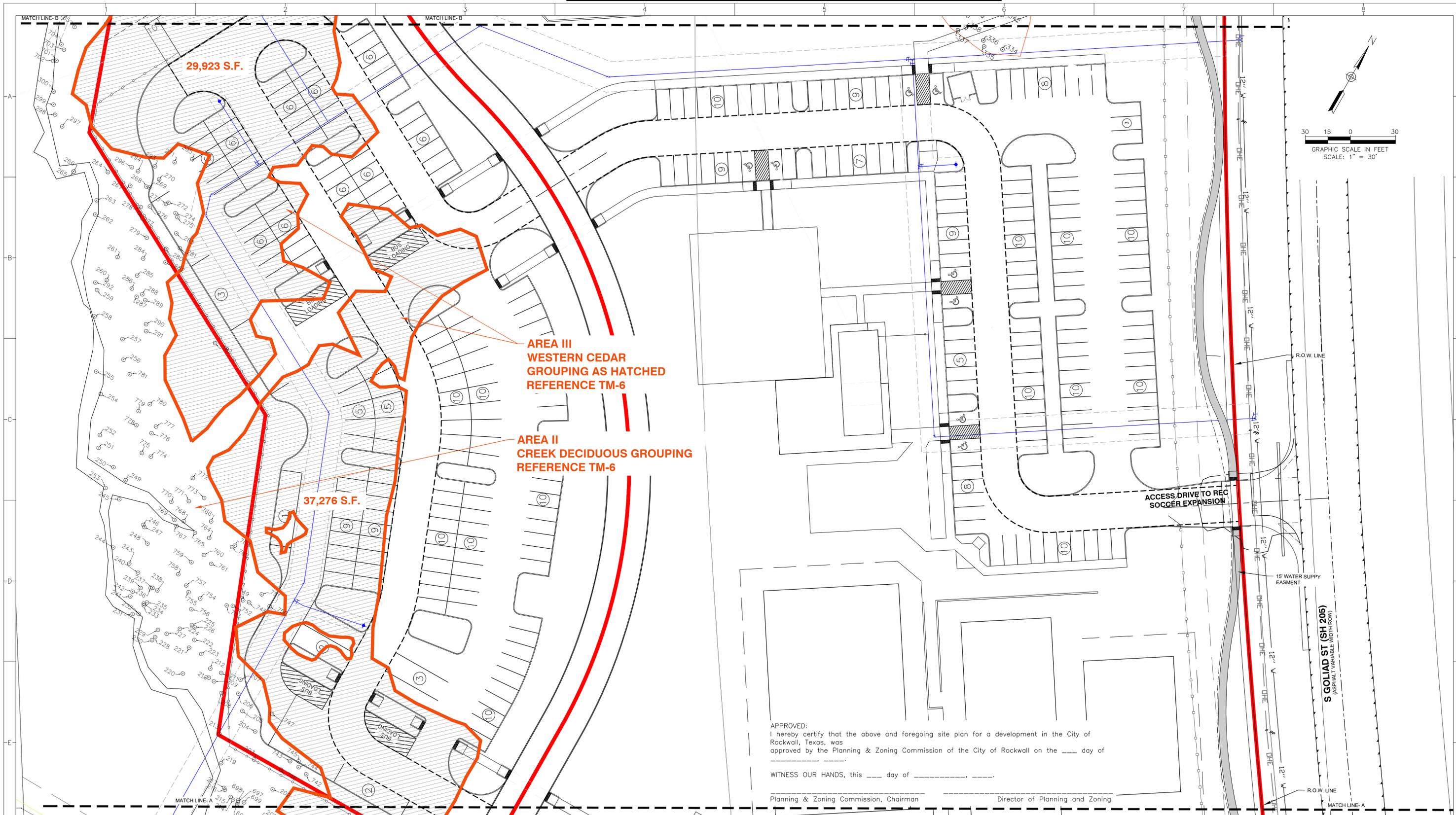
Dunkin Sims Stoffels, Inc.
 Date: June 13, 2025

NOT FOR CONSTRUCTION, BIDDING
 OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	6/11/2025	CHECKED BY	BS
		LAST UPDATE BY	
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	TM-1
APPROVED:		ISSUE:	0
FILENAME:			

**REC CAMPUS EXPANSION
 SOCCER FIELDS & PARKING
 SH 205
 ROCKWALL, TX 75032**

TREE MITIGATION PLAN



**AREA III
WESTERN CEDAR
GROUPING AS HATCHED
REFERENCE TM-6**

**AREA II
CREEK DECIDUOUS GROUPING
REFERENCE TM-6**

29,923 S.F.

37,276 S.F.

APPROVED:
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	06/11/2025	BS	BS	BS	ISSUED FOR REVIEW

REC
Rayburn Electric
COOPERATIVE

618 Main Street
Garland, TX 75040
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TBPE No. F-1515

rdelta
ENGINEERS

PRELIMINARY
SUBMITTED FOR REVIEW
BY: Bob Stoffels

Dunkin Sims Stoffels, Inc.
Date: June 13, 2025

NOT FOR CONSTRUCTION, BIDDING
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JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	6/11/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:		TM-2	0

**REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
SH 205
ROCKWALL, TX 75032**

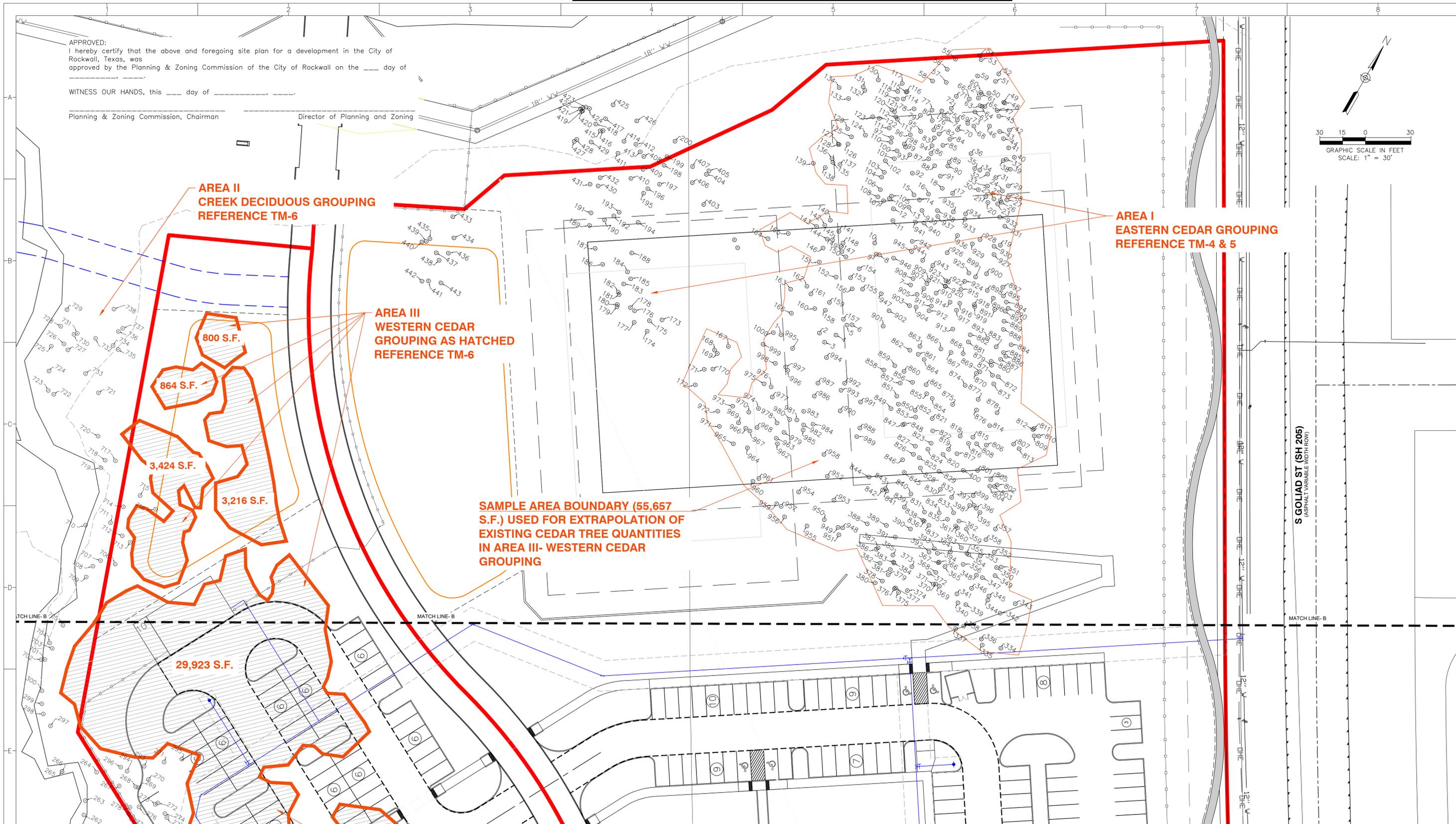
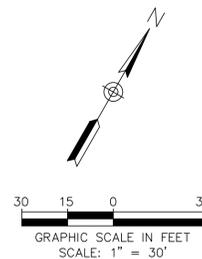
TREE MITIGATION PLAN

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Director of Planning and Zoning



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Dunkin Sims Stoffels, Inc.
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CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:		TM-3	0

**REC CAMPUS EXPANSION
SOCCER FIELDS & PARKING
SH 205
ROCKWALL, TX 75032**

TREE MITIGATION PLAN

AREA I - Site Tree Listing
Rayburn Electric Cooperative- Soccer Landscape- Eastern Cedar Grouping
June 13, 2025

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
1	12	CEDAR			x		Remove	4	
2	9	CEDAR			x		Remove	4	
3	9	CEDAR			x		Remove	4	
4	4	HACKBERRY				x	Remove		
5	8	CEDAR			x		Remove	4	
6	6	HACKBERRY				x	Remove		
7	4	HACKBERRY				x	Remove		
8	15	CEDAR			x		Remove	4	
9	8	CEDAR			x		Remove	4	
10	12	CEDAR			x		Remove	4	
11	7	CEDAR			x		Remove	4	
12	10	CEDAR			x		Remove	4	
13	7	CEDAR			x		Remove	4	
14	14	BUMELIA			x		Remove		14
15	8	CEDAR			x		Remove	4	
16	11	CEDAR			x		Remove	4	
17	6	CEDAR			x		Remove	4	
18	3	CEDAR	Dead		x		Remove		
19	5	HACKBERRY				x	Remove		
20	4	BUMELIA			x		Remove		4
21	4	CEDAR			x		Remove	4	
22	17	BUMELIA			x		Remove		17
23	4	BUMELIA			x		Remove		4
24	8	BUMELIA			x		Remove		8
25	2	CEDAR	Shaded Out		x		Remove	4	
26	2	CEDAR	Shaded Out		x		Remove	4	
27	3	CEDAR	Shaded Out		x		Remove	4	
28	8	BUMELIA			x		Remove		8
29	12	HACKBERRY				x	Remove		
30	7	CEDAR			x		Remove	4	
31	4	CEDAR	Shaded Out		x		Remove	4	
32	10	CEDAR			x		Remove	4	
33	14	CEDAR			x		Remove	4	
34	4	CEDAR			x		Remove	4	
35	5	HACKBERRY				x	Remove		
36	7	CEDAR			x		Remove	4	
37	7	CEDAR			x		Remove	4	
38	12	CEDAR			x		Remove	4	
39	13	HACKBERRY				x	Remove		
40	8	CEDAR			x		Remove	4	
41	6	CEDAR			x		Remove	4	
42	20	CEDAR			x		Remove	4	
43	7	CEDAR			x		Remove	4	
44	20	CEDAR			x		Remove	4	
45	13	CEDAR			x		Remove	4	
46	8	CEDAR			x		Remove	4	
47	6	CEDAR			x		Remove	4	
48	6	CEDAR			x		Remove	4	
49	18	CEDAR			x		Remove	4	
50	5	CEDAR			x		Remove	4	
51	7	CEDAR			x		Remove	4	
52	16	CEDAR			x		Remove	4	
53	5	CEDAR			x		Remove	4	
54	6	CEDAR			x		Remove	4	
55	7	CEDAR			x		Remove	4	
56	9	CEDAR			x		Remove	4	
57	8	CEDAR			x		Remove	4	
58	8	CEDAR			x		Remove	4	
59	10	CEDAR			x		Remove	4	
60	7	CEDAR			x		Remove	4	
61	2	CEDAR			x		Remove	4	
62	3	CEDAR			x		Remove	4	
63	5	CEDAR			x		Remove	4	
64	1	CEDAR	Dead		x		Remove		
65	2	CEDAR	Dead		x		Remove		
66	7	CEDAR			x		Remove	4	
67	8	CEDAR			x		Remove	4	
68	8	CEDAR			x		Remove	4	
69	8	CEDAR			x		Remove	4	
70	10	CEDAR			x		Remove	4	
71	4	CEDAR			x		Remove	4	
72	6	CEDAR			x		Remove	4	
73	9	CEDAR			x		Remove	4	

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
74	3	CEDAR			x		Remove	4	
75	6	CEDAR			x		Remove	4	
76	1	CEDAR	Dead		x		Remove		
77	14	CEDAR			x		Remove	4	
78	4	CEDAR			x		Remove	4	
79	6	CEDAR			x		Remove	4	
80	4	BUMELIA			x		Remove		4
81	10	HACKBERRY				x	Remove		
82	6	BUMELIA			x		Remove		6
83	7	BOIS D'ARC			x		Remove	4	
84	8	CEDAR	Thin		x		Remove	4	
85	22	BOIS D'ARC			x		Remove		
86	9	BOIS D'ARC			x		Remove		
87	6	BOIS D'ARC			x		Remove		
88	14	BOIS D'ARC			x		Remove		
89	9	CEDAR			x		Remove	4	
90	9	CEDAR			x		Remove	4	
91	5	CEDAR			x		Remove	4	
92	4	HACKBERRY				x	Remove		
93	9	CEDAR			x		Remove	4	
94	8	BOIS D'ARC			x		Remove		
95	8	CEDAR			x		Remove	4	
96	15	CEDAR			x		Remove	4	
97	6	CEDAR			x		Remove	4	
98	6	CEDAR			x		Remove	4	
99	3	CEDAR			x		Remove	4	
100	12	CEDAR			x		Remove	4	
101	8	CEDAR			x		Remove	4	
102	2	CEDAR			x		Remove	4	
103	15	CEDAR			x		Remove	4	
104	7	CEDAR			x		Remove	4	
105	5	CEDAR			x		Remove	4	
106	10	CEDAR	Dead		x		Remove		
107	9	CEDAR			x		Remove	4	
108	14	HACKBERRY	Dead			x	Remove		
109	8	CEDAR			x		Remove	4	
110	7	CEDAR			x		Remove	4	
111	10	CEDAR			x		Remove	4	
112	6	CEDAR			x		Remove	4	
113	7	CEDAR			x		Remove	4	
114	7	CEDAR			x		Remove	4	
115	5	CEDAR			x		Remove	4	
116	7	CEDAR			x		Remove	4	
117	3	CEDAR			x		Remove	4	
118	13	CEDAR			x		Remove	4	
119	8	CEDAR			x		Remove	4	
120	2	CEDAR			x		Remove	4	
121	7	CEDAR			x		Remove	4	
122	6	CEDAR			x		Remove	4	
123	8	CEDAR			x		Remove	4	
124	8	HACKBERRY				x	Remove		
125	8	CEDAR			x		Remove	4	
126	8	CEDAR			x		Remove	4	
127	3	CEDAR			x		Remove	4	
128	18	CEDAR			x		Remove	4	
129	20	CEDAR			x		Remove	4	
130	8	CEDAR			x		Remove	4	
131	10	CEDAR			x		Remove	4	
132	3	CEDAR			x		Remove	4	
133	15	CEDAR			x		Remove	4	
134	13	CEDAR			x		Remove	4	
135	13	CEDAR			x		Remove	4	
136	4	CEDAR			x		Remove	4	
137	9	CEDAR			x		Remove	4	
138	11	CEDAR			x		Remove	4	
139	10	CEDAR			x		Remove	4	
140	8	CEDAR	Dead		x		Remove		
141	7	CEDAR	Thin Crown		x		Remove	4	
142	8	CEDAR	Diseased		x		Remove	4	
143	9	CEDAR			x		Remove	4	
144	7	CEDAR			x		Remove	4	
145	9	CEDAR			x		Remove	4	
146	11	CEDAR	Dead		x		Remove		
147	8	CEDAR			x		Remove	4	
148	8	CEDAR			x		Remove	4	
149	4	HACKBERRY				x	Remove		

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
150	4	HACKBERRY				x	Remove		
151	9	CEDAR			x		Remove	4	
152	10	CEDAR			x		Remove	4	
153	7	HACKBERRY				x	Remove		
154	8	CEDAR			x		Remove	4	
155	8	CEDAR			x		Remove	4	
156	8	CEDAR			x		Remove	4	
157	14	CEDAR			x		Remove	4	
158	9	HACKBERRY				x	Remove		
159	5	CEDAR	Shaded Out		x		Remove	4	
160	13	CEDAR			x		Remove	4	
161	3	HACKBERRY				x	Remove		
162	8	CEDAR			x		Remove	4	
163	9	CEDAR			x		Remove	4	
164	8	CEDAR			x		Remove	4	
165	15	CEDAR			x		Remove	4	
166	7	CEDAR			x		Remove	4	
167	19	CEDAR			x		Remove	4	
168	5	CEDAR			x		Remove	4	
169	6	CEDAR			x		Remove	4	
170	13	CEDAR			x		Remove	4	
171	8	CEDAR			x		Remove	4	
172	8	CEDAR			x		Remove	4	
173	8	CEDAR			x		Remove	4	
174	7	CEDAR			x		Remove	4	
175	11	CEDAR			x		Remove	4	
176	8	CEDAR			x		Remove	4	
177	15	CEDAR			x		Remove	4	
178	5	CEDAR			x		Remove	4	
179	8	CEDAR			x		Remove	4	
180	8	CEDAR			x		Remove	4	
181	6	CEDAR			x		Remove	4	
182	7	CEDAR			x		Remove	4	
183	10	CEDAR			x		Remove	4	
184	14	HACKBERRY	Dead			x	Remove		
185	10	CEDAR			x		Remove	4	
186	12	CEDAR			x		Remove	4	
187	8	HACKBERRY	Dead above 8'			x	Remove		
188	9	CEDAR			x		Remove	4	
189	8	MEXICAN PLUM			x		Remove		8
190	9	HACKBERRY				x	Remove		
191	9	HACKBERRY				x	Remove		
192	12	CEDAR			x		Remove	4	
193	2	CEDAR			x		Remove	4	
194	8	CEDAR			x		Remove	4	
195	5	CEDAR			x		Remove	4	
196	8	CEDAR			x		Remove	4	
197	11	CEDAR			x		Remove	4	
198	6	CEDAR			x		Remove	4	
199	12	CEDAR			x		Remove	4	
200	13	CEDAR							

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
435	7	CEDAR	Sparse		x		Remove	4	
436	6	CEDAR	Sparse		x		Remove	4	
437	4	CEDAR			x		Remove	4	
438	8	CEDAR	Sparse		x		Remove	4	
439	8	CEDAR	Sparse		x		Remove	4	
440	7	CEDAR	Sparse		x		Remove	4	
441	8	CEDAR	Sparse		x		Remove	4	
442	14	CEDAR	Sparse		x		Remove	4	
443	8	CEDAR	Sparse		x		Remove	4	
801	13	CEDAR			x		Remove	4	
802	13	CEDAR			x		Remove	4	
803	11	HACKBERRY			x		Remove		
804	10	CEDAR			x		Remove	4	
805	12	CEDAR			x		Remove	4	
806	7	BUMELIA		x			Remove		7
807	17	HACKBERRY		x	x		Remove		
808	7	CEDAR			x		Remove	4	
809	26	HACKBERRY			x		Remove		
810	6	CEDAR			x		Remove	4	
811	7	CEDAR			x		Remove	4	
812	4	CEDAR			x		Remove	4	
813	20	CEDAR			x		Remove	4	
814	5	CEDAR ELM		x			Remove		5
815	8	CEDAR			x		Remove	4	
816	18	HACKBERRY			x		Remove		
817	9	CEDAR			x		Remove	4	
818	9	CEDAR			x		Remove	4	
819	7	CEDAR			x		Remove	4	
820	7	CEDAR			x		Remove	4	
821	5	HACKBERRY			x		Remove		
822	10	CEDAR			x		Remove	4	
823	8	CEDAR			x		Remove	4	
824	6	CEDAR			x		Remove	4	
825	11	CEDAR			x		Remove	4	
826	9	CEDAR			x		Remove	4	
827	6	CEDAR			x		Remove	4	
828	5	HACKBERRY			x		Remove		
829	8	CEDAR			x		Remove	4	
830	8	CEDAR			x		Remove	4	
831	6	CEDAR			x		Remove	4	
832	10	CEDAR			x		Remove	4	
833	9	HACKBERRY			x		Remove		
834	10	CEDAR			x		Remove	4	
835	6	CEDAR	Shaded Out		x		Remove	4	
836	6	CEDAR			x		Remove	4	
837	13	CEDAR			x		Remove	4	
838	2	CEDAR			x		Remove	4	
839	9	CEDAR			x		Remove	4	
840	10	CEDAR			x		Remove	4	
841	5	CEDAR			x		Remove	4	
842	8	CEDAR			x		Remove	4	
843	7	CEDAR			x		Remove	4	
844	10	CEDAR			x		Remove	4	
845	12	CEDAR			x		Remove	4	
846	8	CEDAR			x		Remove	4	
847	8	HACKBERRY			x		Remove		
848	5	CEDAR			x		Remove	4	
849	11	CEDAR			x		Remove	4	
850	7	CEDAR			x		Remove	4	
851	24	BOIS D'ARC			x		Remove		
852	10	CEDAR			x		Remove	4	
853	9	CEDAR			x		Remove	4	
854	6	HACKBERRY			x		Remove		
855	6	CEDAR	Shaded Out		x		Remove	4	
856	6	HACKBERRY			x		Remove		
857	7	CEDAR			x		Remove	4	
858	10	CEDAR			x		Remove	4	
859	11	CEDAR			x		Remove	4	
860	10	CEDAR			x		Remove	4	
861	8	CEDAR			x		Remove	4	
862	10	CEDAR			x		Remove	4	
863	11	CEDAR			x		Remove	4	
864	10	HACKBERRY			x		Remove		
865	10	CEDAR			x		Remove	4	
866	5	HACKBERRY			x		Remove		
867	6	HACKBERRY			x		Remove		

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
868	14	HACKBERRY			x		Remove		
869	9	CEDAR			x		Remove	4	
870	7	CEDAR			x		Remove	4	
871	12	CEDAR			x		Remove	4	
872	6	HACKBERRY			x		Remove		
873	12	CEDAR			x		Remove	4	
874	10	CEDAR	Thin		x		Remove	4	
875	30	BOIS D'ARC			x		Remove		
876	10	CEDAR			x		Remove	4	
877	12	CEDAR			x		Remove	4	
878	13	CEDAR			x		Remove	4	
879	6	HACKBERRY			x		Remove		
880	8	CEDAR			x		Remove	4	
881	9	CEDAR			x		Remove	4	
882	6	HACKBERRY			x		Remove		
883	10	CEDAR			x		Remove	4	
884	9	CEDAR			x		Remove	4	
885	12	HACKBERRY			x		Remove		
886	7	HACKBERRY			x		Remove		
887	7	HACKBERRY			x		Remove		
888	6	HACKBERRY			x		Remove		
889	25	BOIS D'ARC			x		Remove		
890	10	CEDAR	Dead		x		Remove		
891	8	CEDAR			x		Remove	4	
892	9	CEDAR			x		Remove	4	
893	4	HACKBERRY			x		Remove		
894	8	CEDAR			x		Remove	4	
895	7	CEDAR			x		Remove	4	
896	7	CEDAR	Crown @ 12'		x		Remove	4	
897	4	HACKBERRY			x		Remove		
898	8	CEDAR	Dead		x		Remove		
899	8	CEDAR			x		Remove	4	
900	28	CEDAR			x		Remove	4	
901	9	CEDAR			x		Remove	4	
902	8	HACKBERRY			x		Remove		
903	8	CEDAR			x		Remove	4	
904	6	HACKBERRY			x		Remove		
905	7	CEDAR			x		Remove	4	
906	5	CEDAR			x		Remove	4	
907	6	CEDAR			x		Remove	4	
908	10	CEDAR			x		Remove	4	
909	6	CEDAR			x		Remove	4	
910	15	HACKBERRY			x		Remove		
911	9	CEDAR			x		Remove	4	
912	14	CEDAR			x		Remove	4	
913	7	HACKBERRY			x		Remove		
914	8	HACKBERRY			x		Remove		
915	9	HACKBERRY			x		Remove		
916	4	CEDAR	Shaded Out		x		Remove	4	
917	8	CEDAR			x		Remove	4	
918	6	CEDAR			x		Remove	4	
919	9	CEDAR			x		Remove	4	
920	8	BUMELIA			x		Remove		8
921	1	CEDAR	Shaded Out		x		Remove	4	
922	6	CEDAR	Shaded Out		x		Remove	4	
923	4	CEDAR	Shaded Out		x		Remove	4	
924	6	HACKBERRY			x		Remove		
925	12	CEDAR			x		Remove	4	
926	6	CEDAR			x		Remove	4	
927	7	HACKBERRY			x		Remove		
928	7	HACKBERRY			x		Remove		
929	11	CEDAR			x		Remove	4	
930	17	CEDAR			x		Remove	4	
931	14	CEDAR			x		Remove	4	
932	4	HACKBERRY			x		Remove		
933	8	HACKBERRY			x		Remove		
934	6	HACKBERRY			x		Remove		
935	18	CEDAR			x		Remove	4	
936	20	CEDAR			x		Remove	4	
937	12	HACKBERRY			x		Remove		
938	4	CEDAR	Shaded Out		x		Remove	4	
939	11	CEDAR			x		Remove	4	
940	6	HACKBERRY			x		Remove		
941	6	CEDAR			x		Remove	4	
942	10	CEDAR			x		Remove	4	
943	7	CEDAR			x		Remove	4	

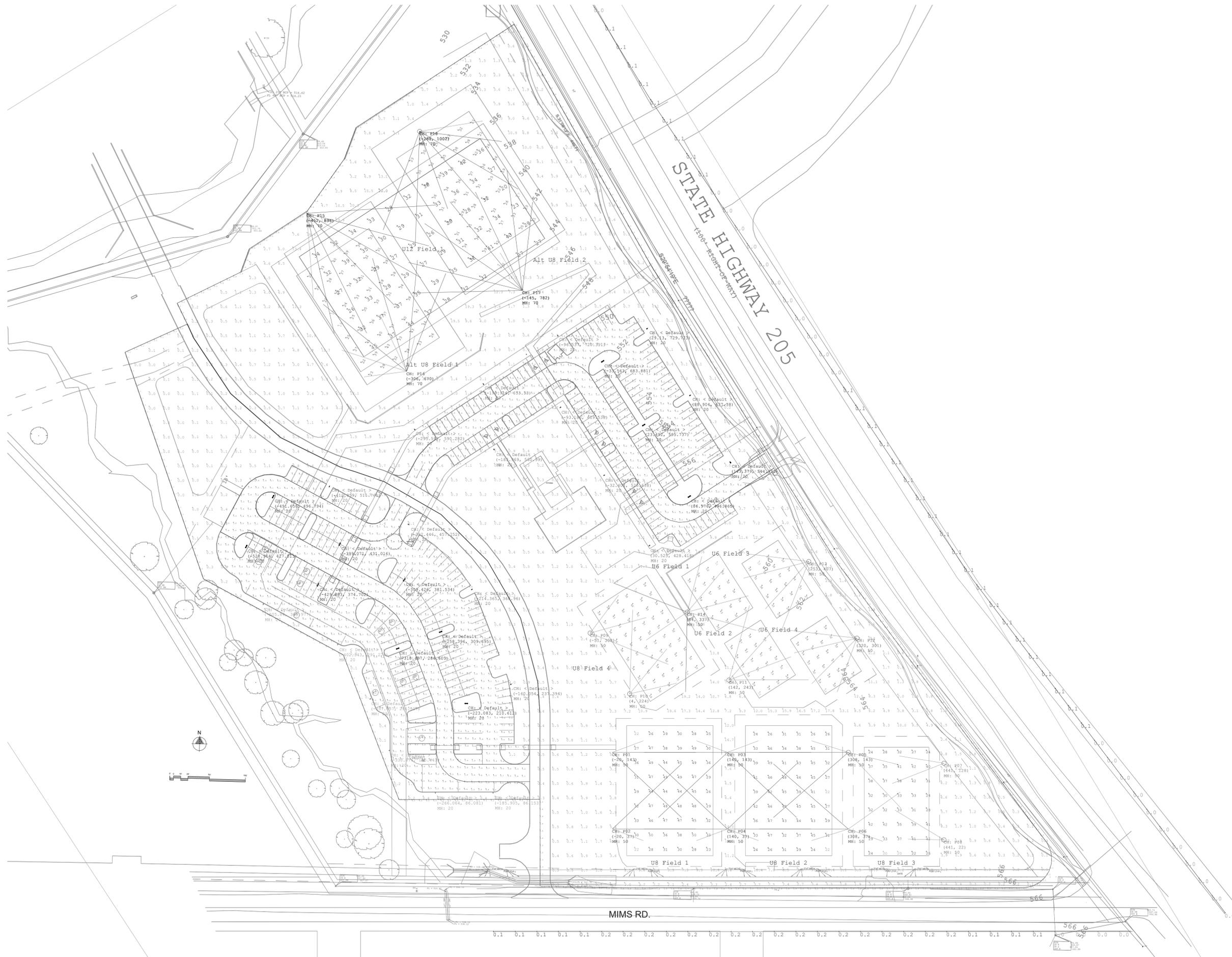
Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
944	9	CEDAR			x		Remove	4	
945	8	CEDAR			x		Remove	4	
946	4	HACKBERRY			x		Remove		
947	9	HACKBERRY			x		Remove		
948	10	CEDAR			x		Remove	4	
949	2	CEDAR	Dead		x		Remove		
950	9	CEDAR			x		Remove	4	
951	13	CEDAR			x		Remove	4	
952	15	CEDAR			x		Remove	4	
953	9	CEDAR			x		Remove	4	
954	28	CEDAR			x		Remove	4	
955	28	CEDAR			x		Remove	4	
956	14	CEDAR			x		Remove	4	
957	6	CEDAR			x		Remove	4	
958	18	CEDAR			x		Remove	4	
959	7	CEDAR			x		Remove	4	
960	32	CEDAR			x		Remove	4	
961	6	CEDAR			x		Remove	4	
962	7	CEDAR			x		Remove	4	
963	8	CEDAR			x		Remove	4	
964	14	CEDAR			x		Remove	4	
965	20	CEDAR			x		Remove	4	
966	8	CEDAR			x		Remove	4	
967	7	CEDAR			x		Remove	4	
968	6	CEDAR			x		Remove	4	
969	9	CEDAR			x		Remove	4	
970	6	CEDAR			x		Remove	4	
971	4	LOCUST	12' Tall 50% Dead				Remove		
972	12	CEDAR			x		Remove	4	
973	9	CEDAR			x		Remove	4	
974	14	CEDAR			x		Remove	4	
975	8	CEDAR			x		Remove	4	
976	8	CEDAR			x		Remove	4	
977	6	CEDAR			x		Remove	4	
978	6	CEDAR			x		Remove	4	
979	11	CEDAR			x		Remove	4	
980	6	CEDAR			x		Remove	4	
981	4	CEDAR			x		Remove	4	
982	4	HACKBERRY			x		Remove		
983	8	CEDAR			x		Remove	4	
984	6	BUMELIA		x			Remove		6
985	7	CEDAR			x		Remove	4	
986	18	CEDAR			x		Remove	4	
987	14	CEDAR			x		Remove	4	
988	8	CEDAR			x		Remove	4	
989	10	CEDAR			x		Remove	4	
990	14	CEDAR			x				

AREA II- Site Tree Listing
Rayburn Electric Cooperative- Soccer Landscape- Creek Deciduous
June 13, 2025

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary		CEDAR TREES	OTHER TREES
201	7	HACKBERRY	> 8'				To Remain		
202	9	HACKBERRY	> 8'			x	To Remain		
203	57	BOIS D'ARC	> 8'			x	To Remain		
204	9	HACKBERRY	> 8'			x	Remove		
205	8	HACKBERRY	> 8'			x	Remove		
206	8	HACKBERRY	> 8'			x	Remove		
207	6	HACKBERRY	> 8'			x	Remove		
208	21	ELM	> 8'	x			To Remain		0
209	8	HACKBERRY	> 8'			x	To Remain		
210	8	HACKBERRY	> 8'			x	To Remain		
211	5	HACKBERRY	> 8'			x	To Remain		
212	5	HACKBERRY	> 8'			x	To Remain		
213	9	HACKBERRY	> 8'			x	To Remain		
214	6	HACKBERRY	> 8'			x	To Remain		
215	4	HACKBERRY	> 8'			x	To Remain		
216	7	HACKBERRY	> 8', Dead			x	To Remain		
217	10	HACKBERRY	> 8', Dead			x	To Remain		
218	10	ELM	> 8'	x			To Remain		0
219	8	HACKBERRY	> 8'			x	To Remain		
220	5	ELM	> 8'	x			To Remain		0
221	6	ELM	> 8'	x			To Remain		0
222	23	COTTONWOOD	> 8', Diseased			x	To Remain		
223	4	HACKBERRY	> 8'			x	To Remain		
224	6	WHITE ASH	> 8'	x			To Remain		0
225	8	HACKBERRY	> 8'			x	To Remain		
226	11	COTTONWOOD	> 8', Dead			x	To Remain		
227	7	WHITE ASH	> 8'	x			To Remain		0
228	6	WHITE ASH	> 8'	x			To Remain		0
229	22	BOIS D'ARC	> 8'			x	To Remain		
230	4	HACKBERRY	> 8'			x	To Remain		
231	9	WHITE ASH	> 8'	x			To Remain		0
232	7	WHITE ASH	> 8'	x			To Remain		0
233	6	WHITE ASH	> 8'	x			To Remain		0
234	10	WHITE ASH	> 8'	x			To Remain		0
235	8	WHITE ASH	> 8'	x			To Remain		0
236	5	WHITE ASH	> 8'	x			To Remain		0
237	6	WHITE ASH	> 8'	x			To Remain		0
238	4	ELM	> 8', Dead	x			To Remain		0
239	5	WHITE ASH	> 8'	x			To Remain		0
240	7	WHITE ASH	> 8'	x			To Remain		0
241	6	WHITE ASH	> 8'	x			To Remain		0
242	5	WHITE ASH	> 8'	x			To Remain		0
243	4	HACKBERRY	> 8'			x	To Remain		
244	9	HACKBERRY	> 8', Diseased			x	To Remain		
245	7	WHITE ASH	> 8'	x			To Remain		0
246	7	WHITE ASH	> 8'	x			To Remain		0
247	7	HACKBERRY	> 8'			x	To Remain		
248	5	WHITE ASH	> 8'	x			To Remain		0
249	9	WHITE ASH	> 8'	x			To Remain		0
250	20	BOIS D'ARC	> 8'			x	To Remain		
251	4	HACKBERRY	> 8'			x	To Remain		
252	5	LOCUST	> 8'			x	To Remain		
253	5	WHITE ASH	> 8'	x			To Remain		0
254	6	LOCUST	> 8'			x	To Remain		
255	9	ELM	> 8'	x			To Remain		0
256	9	HACKBERRY	> 8', Diseased			x	To Remain		
257	22	WILLOW	> 8', Diseased			x	To Remain		
258	9	ELM	> 8'	x			To Remain		0
259	6	HACKBERRY	> 8'			x	To Remain		
260	6	HACKBERRY	> 8'			x	To Remain		
261	17	HACKBERRY	> 8'			x	To Remain		
262	6	LOCUST	> 8'			x	To Remain		
263	8	BOIS D'ARC	> 8'			x	To Remain		
264	8	HACKBERRY	> 8'			x	To Remain		
265	5	HACKBERRY	> 8'			x	To Remain		
266	13	WHITE ASH	> 8'	x			To Remain		0
267	6	HACKBERRY	> 8'			x	To Remain		
268	4	HACKBERRY	> 8'			x	Remove		
269	7	HACKBERRY	> 8', Dead			x	Remove		
270	8	HACKBERRY	> 8'			x	Remove		
271	8	HACKBERRY	> 8'			x	Remove		
272	10	HACKBERRY	> 8'			x	Remove		
273	5	HACKBERRY	> 8'			x	Remove		

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation				Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary	Non-Protected		CEDAR TREES	OTHER TREES
274	8	HACKBERRY	> 8'				x	Remove		
275	10	HACKBERRY	> 8'				x	Remove		
276	5	HACKBERRY	> 8'				x	Remove		
277	10	HACKBERRY	> 8'				x	To Remain		
278	7	HACKBERRY	> 8'				x	Remove		
279	9	HACKBERRY	> 8', Diseased				x	To Remain		
280	8	HACKBERRY	> 8'				x	To Remain		
281	5	HACKBERRY	> 8'				x	Remove		
282	15	HACKBERRY	> 8'				x	To Remain		
283	4	HACKBERRY	> 8'				x	Remove		
284	7	LOCUST	> 8'				x	To Remain		
285	6	HACKBERRY	> 8'				x	To Remain		
286	11	WHITE ASH	> 8'	x				To Remain		0
287	10	WHITE ASH	> 8'	x				To Remain		0
288	8	WHITE ASH	> 8'	x				To Remain		0
289	4	HACKBERRY	> 8'				x	To Remain		
290	10	ELM	> 8'	x				To Remain		0
291	9	WHITE ASH	> 8'	x				To Remain		0
292	4	WHITE ASH	> 8'	x				To Remain		0
293	4	HACKBERRY	> 8'				x	Remove		
294	5	HACKBERRY	> 8'				x	Remove		
295	5	HACKBERRY	> 8'				x	Remove		
296	6	HACKBERRY	> 8'				x	Remove		
297	7	HACKBERRY	> 8'				x	To Remain		
298	6	HACKBERRY	> 8'				x	To Remain		
299	6	WHITE ASH	> 8'	x				To Remain		0
300	7	HACKBERRY	> 8', Dead				x	To Remain		
445	6	HACKBERRY	> 8'				x	To Remain		
447	9	HACKBERRY	> 8', Dead				x	To Remain		
449	38	WHITE ASH	> 8'	x				To Remain		0
686	8	HACKBERRY	> 8'				x	To Remain		
687	10	HACKBERRY	> 8'				x	To Remain		
688	9	HACKBERRY	> 8', Dead				x	To Remain		
689	5	HACKBERRY	> 8'				x	To Remain		
690	13	HACKBERRY	> 8'				x	To Remain		
691	10	HACKBERRY	> 8'				x	To Remain		
692	7	HACKBERRY	> 8'				x	To Remain		
693	4	HACKBERRY	> 8'				x	To Remain		
694	5	HACKBERRY	> 8'				x	To Remain		
695	8	HACKBERRY	> 8'				x	To Remain		
696	8	HACKBERRY	> 8'				x	To Remain		
697	12	HACKBERRY	> 8'				x	To Remain		
698	10	HACKBERRY	> 8'				x	To Remain		
699	5	HACKBERRY	> 8'				x	To Remain		
700	9	ELM	> 8'	x				To Remain		0
701	5	HACKBERRY	> 8'				x	To Remain		
702	8	HACKBERRY	> 8'				x	To Remain		
703	4	HACKBERRY	> 8'				x	To Remain		
704	6	LOCUST	> 8'				x	To Remain		
705	5	ELM	> 8'	x				To Remain		0
706	5	HACKBERRY	> 8'				x	To Remain		
707	5	LOCUST	> 8'				x	To Remain		
708	13	ELM	> 8'	x				To Remain		0
709	6	HACKBERRY	> 8'				x	To Remain		
710	8	ELM	> 8', Diseased	x				To Remain		0
711	8	HACKBERRY	> 8', Diseased				x	To Remain		
712	18	HACKBERRY	> 8'				x	To Remain		
713	6	HACKBERRY	> 8'				x	To Remain		
714	10	WHITE ASH	> 8'				x	To Remain		0
715	9	HACKBERRY	> 8'				x	Remove		
716	23	BOIS D'ARC	> 8'				x	Remove		
717	8	HACKBERRY	> 8'				x	To Remain		
718	7	HACKBERRY	> 8'				x	To Remain		
719	4	WHITE ASH	> 8'	x				To Remain		0
720	38	BOIS D'ARC	> 8'				x	To Remain		
721	55	BOIS D'ARC	> 8'				x	To Remain		
722	5	HACKBERRY	> 8'				x	To Remain		
723	6	HACKBERRY	> 8'				x	To Remain		
724	7	HACKBERRY	> 8'				x	To Remain		
725	4	HACKBERRY	> 8'				x	To Remain		
726	6	HACKBERRY	> 8'				x	Remove		
727	4	HACKBERRY	> 8'				x	To Remain		
728	4	HACKBERRY	> 8'				x	To Remain		
729	4	HACKBERRY	> 8'				x	To Remain		
730	4	HACKBERRY	> 8'				x	To Remain		
731	8	BOIS D'ARC	> 8'				x	To Remain		

Location Key	Size DBH (Inches)	Common Name	Comments	Tree Designation				Removal Status	Replacement Caliper Inches	
				Feature	Primary	Secondary	Non-Protected		CEDAR TREES	OTHER TREES
732	5	LOCUST	> 8'					To Remain		
733	8	HACKBERRY	> 8'				x	To Remain		
734	7	HACKBERRY	> 8'				x	To Remain		
735	4	HACKBERRY	> 8', Dead				x	To Remain		
736	4	LOCUST	> 8'				x	To Remain		
737	8	HACKBERRY	> 8'				x	To Remain		
738	4	HACKBERRY	> 8', Dead				x	To Remain		
739	7	CEDAR ELM	> 8'				x	To Remain		0
740	5	HACKBERRY	> 8'				x	To Remain		
741	6	HACKBERRY	> 8'				x	To Remain		
742	5	HACKBERRY	> 8'				x	Remove		
743	4	HACKBERRY	> 8'				x	Remove		
744	13	HACKBERRY	> 8'				x	Remove		
745	7	HACKBERRY	> 8'				x	Remove		
746	5	HACKBERRY	> 8'				x	To Remain		
747	4	HACKBERRY	> 8'				x	Remove		
748	4	HACKBERRY	> 8'				x	To Remain		
749	4	HACKBERRY	> 8'				x	To Remain		
750	7	HACKBERRY	> 8'				x	Remove		
751	6	HACKBERRY	> 8'				x	Remove		
752	4	HACKBERRY	> 8'				x	To Remain		
753	5	HACKBERRY	> 8'				x	To Remain		
754	9	HACKBERRY	> 8'				x	To Remain		
755	5	HACKBERRY	> 8'				x	To Remain		
756	4	HACKBERRY	> 8'				x	To Remain		
757	5	HACKBERRY	> 8'				x	To Remain		
758	12	WHITE ASH	> 8'				x	To Remain		0
759	5	HACKBERRY	> 8'	x				To Remain		
760</										



ODG Engineering, Inc.
 508 W. Lookout Dr.
 #14-1024
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 Ph: (214) 346-9122
 Texas Firm #8451

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**ROCKWALL SOCCER FIELDS
 PHOTOMETRICS**
 SH 205, ROCKWALL, TEXAS

REVISIONS

No.	REVISION DATE	REVISION DESCRIPTION
1		
2		
3		

PLAN No.
2025012.010

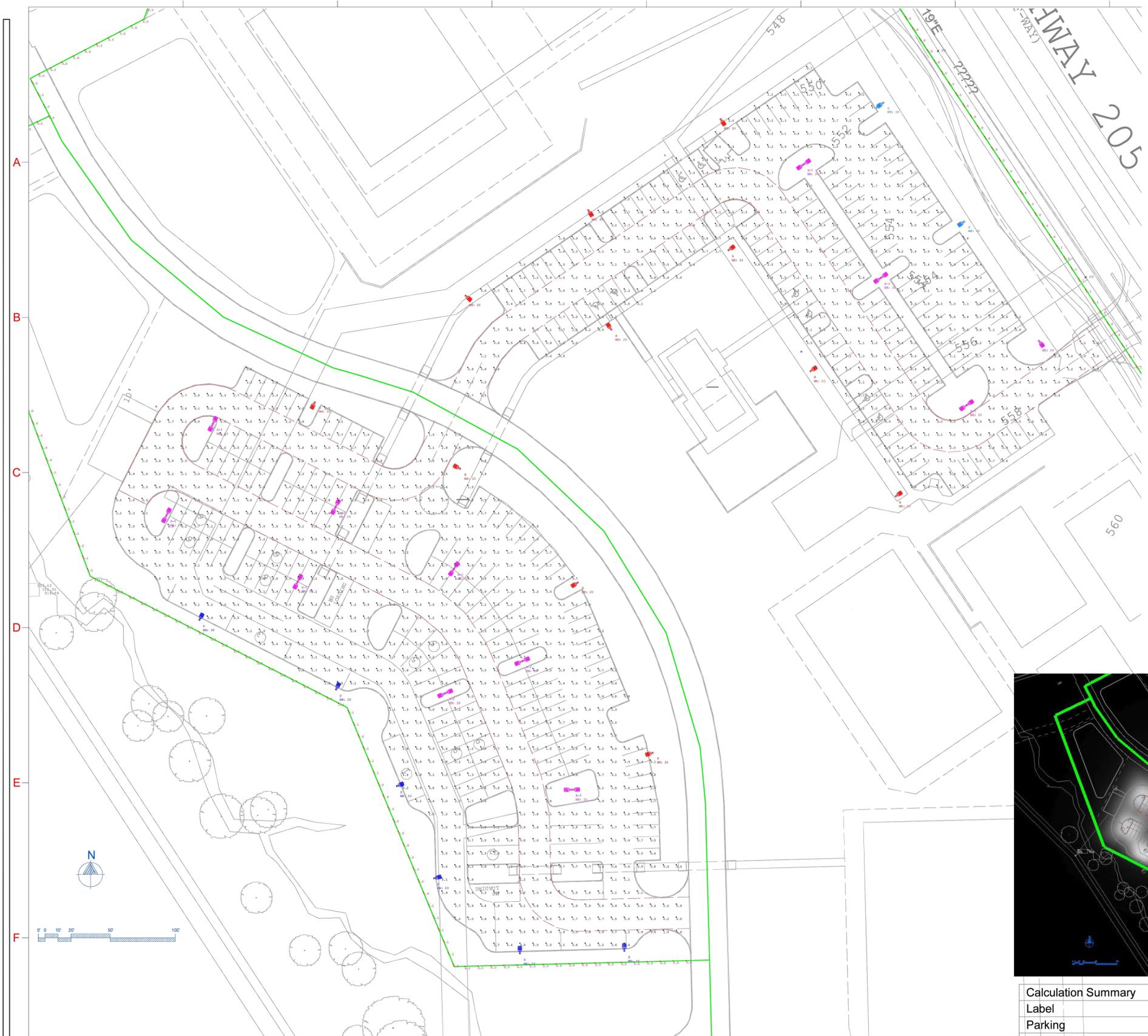
SHEET CONTENT
 SITE PLAN - PHOTOMETRICS

PROJECT
PHOTOMETRICS

DESIGNED BY: **FD** DRAWN BY: **FD**

DATE
2025 | 06 | 13

SHEET
L-0.0



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	2.36	6.2	0.4	5.90	15.50
Property Line	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.

Luminaire Schedule						Arr. Lum. Lumens	BUG Rating	Lum. Watts	Total Watts
Symbol	Qty	Label	Arrangement	LLF	Description				
	1	A	Single	0.950	VISIONAIRE VSX-II_T5_32LD_7_40K7_VOLT SINGLE @ 20' MTG. HT. (N)	9924	B3-U0-G1	67.9	67.9
	11	A-2	D180°	0.950	VISIONAIRE VSX-II_T5_32LD_7_40K7_VOLT D180° @ 20' MTG. HT. (N)	19848	B3-U0-G1	67.9	1493.8
	11	B	Single	0.950	VISIONAIRE VSX-II_T3R_48LD_7_40K7_VOLT SINGLE @ 20' MTG. HT. (N)	13793	B3-U0-G3	101.9	1120.9
	2	C	Single	0.950	VISIONAIRE VSX-II_T3R_48LD_10_40K7_BHS_VOLT SINGLE @ 20' MTG. HT. (N)	14502	B0-U0-G3	157.2	314.4
	6	D	Single	0.950	VISIONAIRE VSX-II_T4_48LD_10_40K7_BHS_VOLT SINGLE @ 20' MTG. HT. (N)	14558	B1-U0-G3	157.2	943.2

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**ROCKWALL SOCCER FIELDS
 PHOTOMETRICS**
 SH 205, ROCKWALL, TEXAS

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SHEET CONTENT
 SITE - PARKING PHOTOMETRICS

PROJECT
 PHOTOMETRICS
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Scenario/Channel Summary			
Scenario: CHM Lighting			
Channel	M.H.	# Lums	Total KW
P01	50'	3	2.24 kW
P02	50'	3	2.24 kW
P03	50'	6	4.47 kW
P04	50'	6	4.47 kW
P05	50'	5	3.73 kW
P06	50'	5	3.73 kW
P07	50'	2	1.49 kW
P08	50'	2	1.49 kW
P09	50'	3	2.24 kW
P10	50'	3	2.24 kW
P11	50'	4	2.98 kW
P12	50'	4	2.98 kW
P13	50'	4	2.98 kW
P14	50'	7	5.22 kW
P15	70'	8	5.96 kW
P16	70'	8	5.96 kW
P17	70'	8	5.96 kW
P18	70'	8	5.96 kW

Note:
Poles are a back-to-back configuration

P03,P04
(3) facing front - (3) facing back

P05,P06
(3) facing front - (2) facing back

P14
(4) facing front - (3) facing back

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**ROCKWALL SOCCER FIELDS
PHOTOMETRICS**
SH 205, ROCKWALL, TEXAS

Luminaire Schedule						
Scenario: CHM Lighting						
Label	Symbol	Qty	LLF	Arrangement	Description	Lum. Watts
USLED2-D-C2		41	0.950	Single	USLED2DXX5070C2XXGCDTO	745
USLED2-D-C3		48	0.950	Single	USLED2DXX5070C3XXGCDTO	745

Calculation Summary											
Scenario: CHM Lighting											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpTb	PtSpLr	
U6 Field 1	Illuminance	Fc	34.9	47	21	1.7	2.2	24	15	15	
U6 Field 2	Illuminance	Fc	34.8	45	21	1.7	2.1	24	15	15	
U6 Field 3	Illuminance	Fc	33.6	46	23	1.5	2.0	24	15	15	
U6 Field 4	Illuminance	Fc	32.5	46	19	1.7	2.4	24	15	15	
U8 Field 1	Illuminance	Fc	37.7	50	22	1.7	2.3	54	20	20	
U8 Field 2	Illuminance	Fc	37.0	49	22	1.7	2.2	54	20	20	
U8 Field 3	Illuminance	Fc	32.9	42	20	1.6	2.1	40	20	20	
U8 Field 4	Illuminance	Fc	35.3	43	24	1.5	1.8	60	15	15	
U12 Field	Illuminance	Fc	32.1	45	19	1.7	2.4	60	30	30	
U8 Field 1 - Alt	Illuminance	Fc	31.6	43	19	1.7	2.3	54	20	20	
U8 Field 2 - Alt	Illuminance	Fc	31.2	43	17	1.8	2.5	54	20	20	

REVISIONS		
No.	REVISION DATE	REVISION DESCRIPTION

PLAN No.
2025012.010

SHEET CONTENT
SITE PLAN - OVERALL FIELD
PHOTOMETRICS

PROJECT
PHOTOMETRICS

DESIGNED BY: FD DRAWN BY: FD

DATE
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**ROCKWALL SOCCER FIELDS
 PHOTOMETRICS**
 SH 205, ROCKWALL, TEXAS

REVISIONS		
No.	REVISION DATE	REVISION DESCRIPTION

PLAN No.
2025012.010

SHEET CONTENT
 SITE PLAN - FIELD PHOTOMETRICS

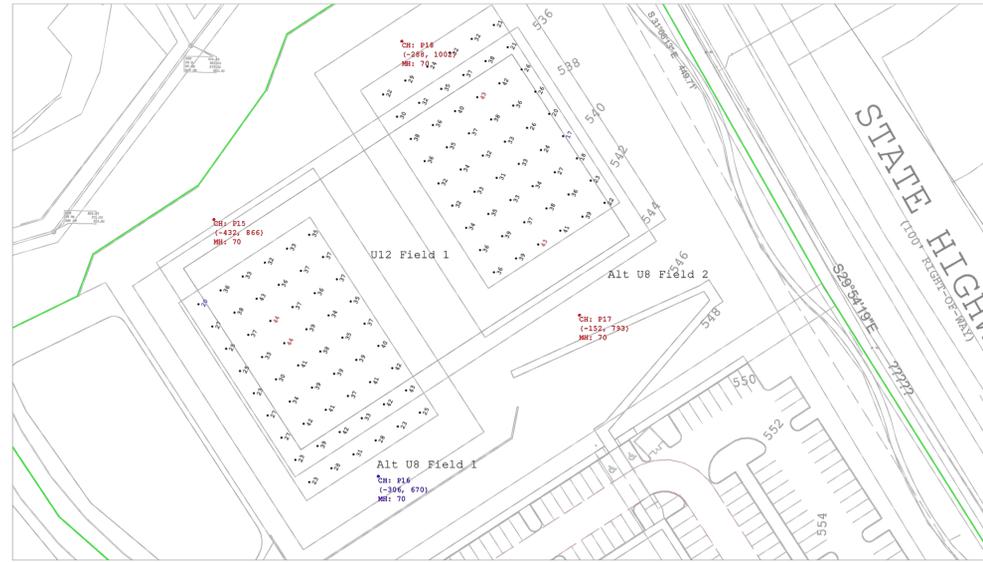
PROJECT
PHOTOMETRICS

DESIGNED BY: **FD** DRAWN BY: **FD**

DATE
2025 | 06 | 13

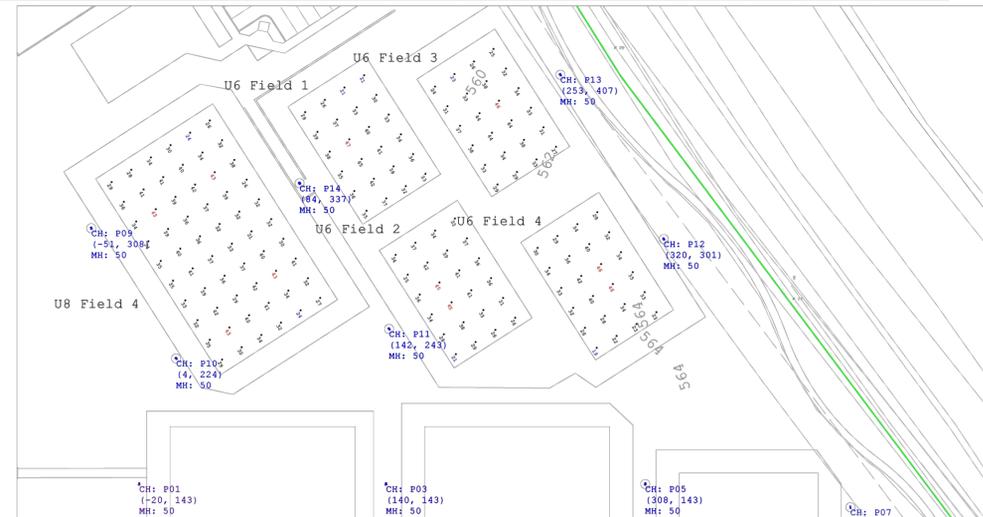
SHEET
L-2.1

Calculation Summary										
Project: Scene 3										
Scenario: CHM Lighting										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpcTb	PtSpcLr
U8 Field 5 - Alt	Illuminance	Fc	34.5	44	20	1.7	2.2	54	20	20
U8 Field 6 - Alt	Illuminance	Fc	32.3	43	17	1.9	2.5	54	20	20



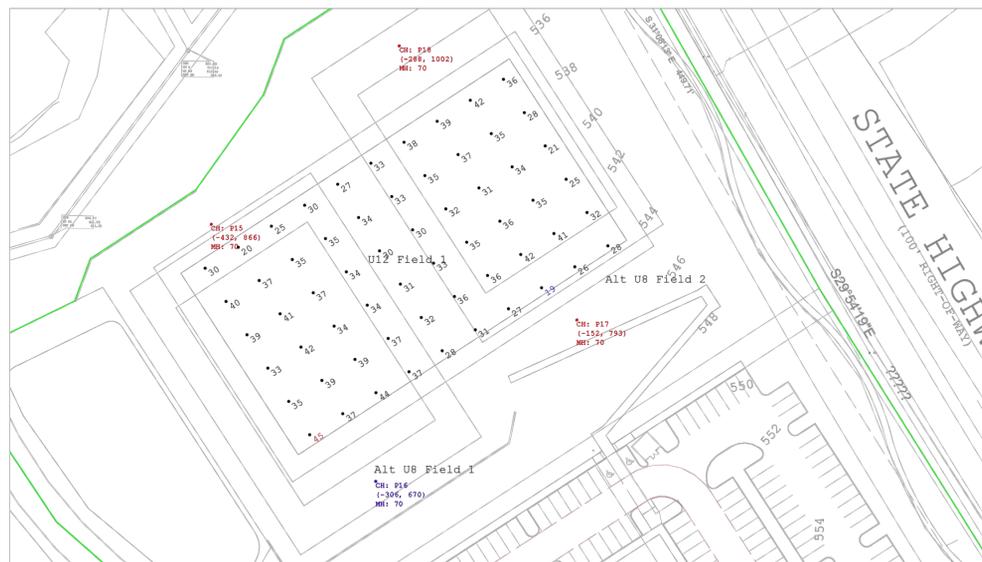
U8 Field 1-2 - Alternate
 Scale: 1 inch= 65 Ft.

Calculation Summary										
Project: Scene 2										
Scenario: CHM Lighting										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpcTb	PtSpcLr
U6 Field 1	Illuminance	Fc	34.9	47	21	1.7	2.2	24	15	15
U6 Field 2	Illuminance	Fc	34.8	45	21	1.7	2.1	24	15	15
U6 Field 3	Illuminance	Fc	33.6	46	23	1.5	2.0	24	15	15
U6 Field 4	Illuminance	Fc	32.5	46	19	1.7	2.4	24	15	15
U8 Field 4	Illuminance	Fc	35.3	43	24	1.5	1.8	60	15	15



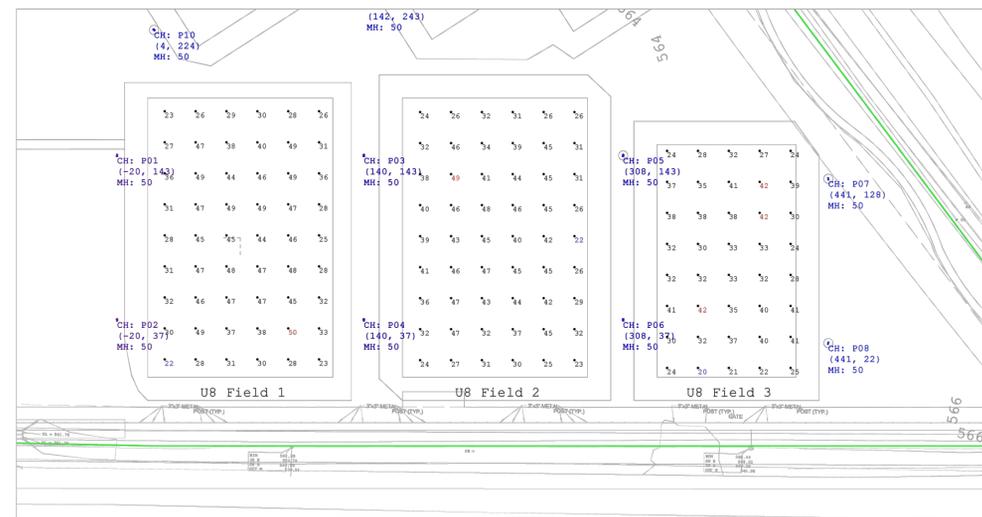
U8 Field 4, U6 Field 1-4
 Scale: 1 inch= 55 Ft.

Calculation Summary										
Project: Scene 4										
Scenario: CHM Lighting										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpcTb	PtSpcLr
U12 Field	Illuminance	Fc	33.8	45	19	1.8	2.4	60	30	30



U12 Field 1
 Scale: 1 inch= 65 Ft.

Calculation Summary										
Scenario: CHM Lighting										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpcTb	PtSpcLr
U6 Field 3	Illuminance	Fc	33.6	46	23	1.5	2.0	24	15	15
U6 Field 4	Illuminance	Fc	32.5	46	19	1.7	2.4	24	15	15
U8 Field 1	Illuminance	Fc	37.7	50	22	1.7	2.3	54	20	20



U8 Field 1-3
 Scale: 1 inch= 55 Ft.



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**ROCKWALL SOCCER FIELDS
 PHOTOMETRICS**
 SH 205, ROCKWALL, TEXAS

REVISIONS

No.	REVISION DATE	REVISION DESCRIPTION
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△		
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PLAN No.
2025012.010

SHEET CONTENT
 SITE PLAN - PROPERTY LINE
 PHOTOMETRICS

PROJECT
PHOTOMETRICS

DESIGNED BY: **FD** DRAWN BY: **FD**

DATE
2025 | 06 | 13

SHEET
L-2.2



01 SITE PLAN PROPERTY LINE - PHOTOMETRICS

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/20/2025

PROJECT NUMBER: SP2025-024
PROJECT NAME: Site Plan for Townhomes
SITE ADDRESS/LOCATIONS: 1801-1815 Glen Hill Way

CASE CAPTION: Discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a Site Plan for seven (7) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	06/20/2025	Needs Review

06/20/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for seven (7) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-024) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish easements and establish new lot lines.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Please provide a streetscape plan for Glen Hill Way. This should be a detail of the area between the road and the townhomes. It must show the existing and proposed landscaping and hardscape elements (e.g. lighting, seating, trash receptacles, bike racks, seat wall, etc.)

M.7 Site Plan.

- (1) Please provide the length of the property line that is adjacent to Glen Hill Way. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the dimensions of the proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please label the fire lane as Fire Lane and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please provide the lot coverage for each lot. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please indicate any existing and proposed fire hydrants. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please indicate the type and depth of all paving materials, and include a detail or cut sheet. (Subsection 03.02, of Article 06, UDC)
- (7) Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (8) Please indicate any existing or proposed fencing or gates. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (9) Please provide a note that there will be no above ground storage tanks or outside storage. (Subsection 01.05, of Article 05, UDC)

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please indicate the pervious vs impervious coverage for each lot. (Subsection 01.01. B, of Article 05, UDC)
- (3) All canopy trees must be four (4) inch caliper at the time of planting (Subsection 05.03. B, of Article 08, UDC)
- (4) All ground mounted utility must be screened with five (5) gallon evergreen shrubs (i.e. transformers). (Subsection 01.05. C, of Article 05, UDC)
- (5) Provide a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Treescape Plan

- (1) No trees that require mitigation are being removed, so no treescape plan is required. (Article 09, UDC)

M.10 Photometric Plan

- (1) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (2) The light levels cannot exceed 20-FC anywhere on the subject property. (Subsection 03.03. G, of Article 07, UDC)
- (3) Please provide cut sheets for all of the proposed light fixtures. (Subsection 03.03, of Article 07, UDC)

M.11 Building Elevations

- (1) Please provide the material percentages for the Building 2 East Façade. (Subsection 04.01, of Article 05, UDC)
- (2) Please indicate the building heights on the elevations. In addition, please clarify the height. The PD Development Plan was approved for buildings 33-feet in height; however, the provided site plan indicates the buildings will be 50-feet in height. (Ordinance 25-21)

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on July 1, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on June 24, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on July 15, 2025.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/17/2025	Approved w/ Comments

- 06/17/2025: 1. You must have 10' on each side of the main and also 10' of separation so this easement would be 30' wide.
2. All public street lights along Glen Hill Way must be installed a minimum of 5' behind the curb
3. Must stub water and sewer to adjacent lot
4. Min 10'
5. 8"x1" Tee. No reason for tapping sleeves
6. May need more 8" valves and fire hydrants

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- No structures or fences within easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Glen Hill Way as-built flow patterns must be maintained.
- Drainage may not be increased towards any direction.
- Drainage calculations are based on property zoning, not land area use.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed
- Any dumpster or trash areas must drain to an oil/water separator prior to storm system
- Lot to Lot drainage is not allowed.
- Lakefront Trail Storm Sewer Pro-Rata must be paid (\$7,226.59/acre)

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Infrastructure study is required. Review fees apply.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There are two existing 8" water main stub outs located along Gen Hill Way available for use, but it must be looped.
- There is an existing 8" sewer main located near the northern property line available for use, but will need to be extended in an easement along Glen Hill Way to the southern homes.
- Public sewer to be 8" minimum.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- All utility crossings must be by dry bore and steel encased.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- 10' utility easement required along all ROW.
- Possibly need additional fire hydrants
- All domestic water services are 1" with City Standard size meters (5/8", 1", 1 1/2", or 2")...No 3/4" services
- Sewer cleanouts are not to be in driveways and must be at the edge of private road.
- May need more 8" valves

Paving Items:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- City driveway spacing requirements must be met.
- All parking to be 20'x9' for 90 degree parking or 22'x9' for parallel.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.
- All public street lights along Glen Hill Way will need to be installed a minimum of 5' behind the curb

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/16/2025	Approved w/ Comments

06/16/2025: Address assignments:

- Lot 4 - 1801 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 3 - 1805 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 7 - 1807 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 2 - 1809 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 6 - 1811 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 1 - 1813 GLEN HILL WAY, ROCKWALL, TX 75032
- Lot 5 - 1815 GLEN HILL WAY, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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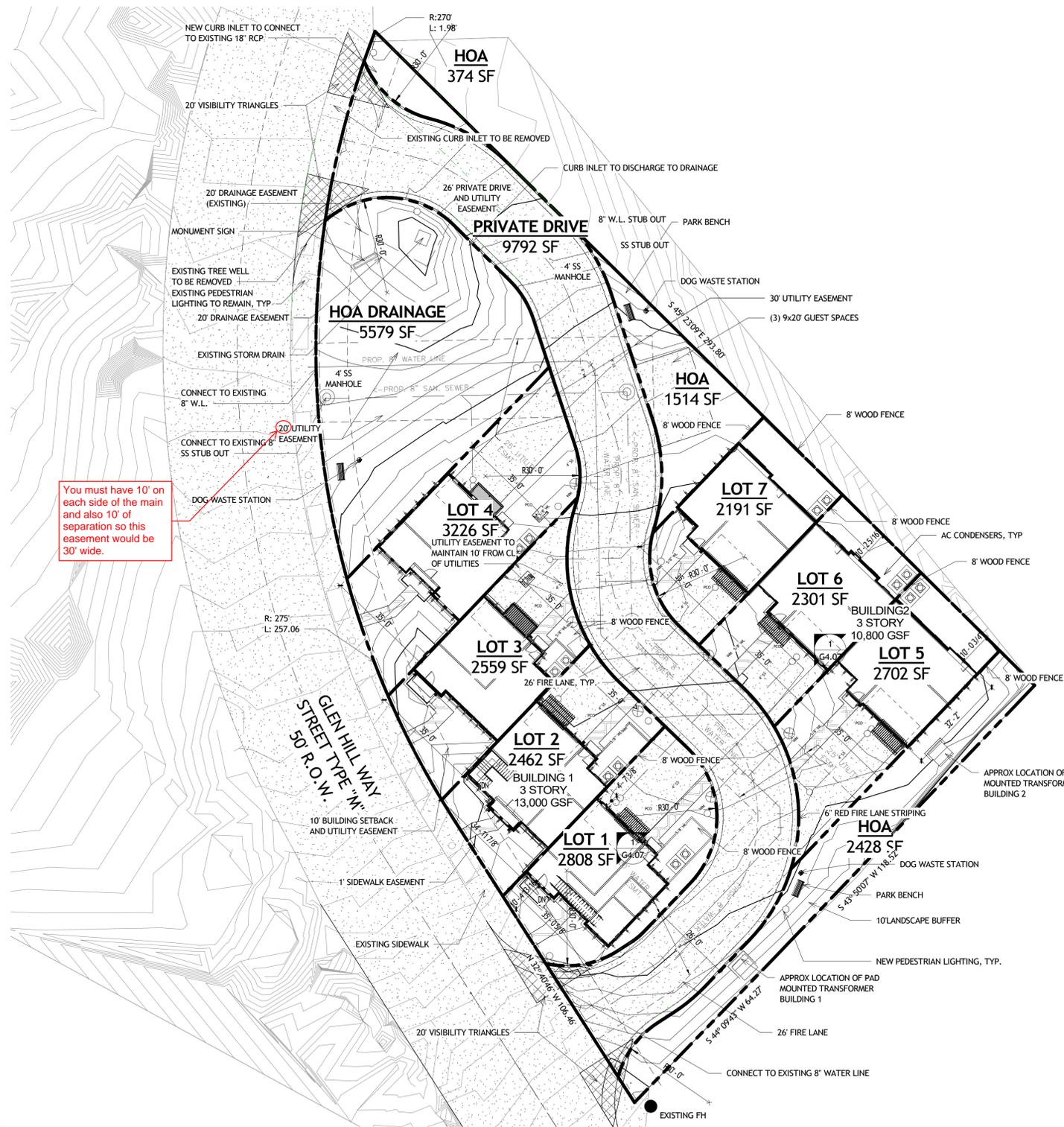
06/17/2025: Possible tree mitigation required

Park Fees Park District 17

Cash in lieu of land \$329.74

Pro Rata Equipment Fees \$281.77

Total fees per lot \$611.51



You must have 10' on each side of the main and also 10' of separation so this easement would be 30' wide.

VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

SITE PLAN GENERAL NOTES

- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
- RETAINING WALLS OVER 3' MUST BE ENGINEERED.
- ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
- ALL UTILITIES MUST BE UNDERGROUND.
- ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

DRAINAGE NOTES

- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
- PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

WATER AND WASTEWATER NOTES

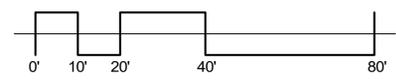
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
- ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
- NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
- NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
- NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

LIFE SAFETY GENERAL NOTES

- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
- BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

- General Items:**
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 - All public street lights along Glen Hill Way will need to be installed a minimum of 5' behind the curb

Impervious Area	25,757
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zapo Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.682.1435

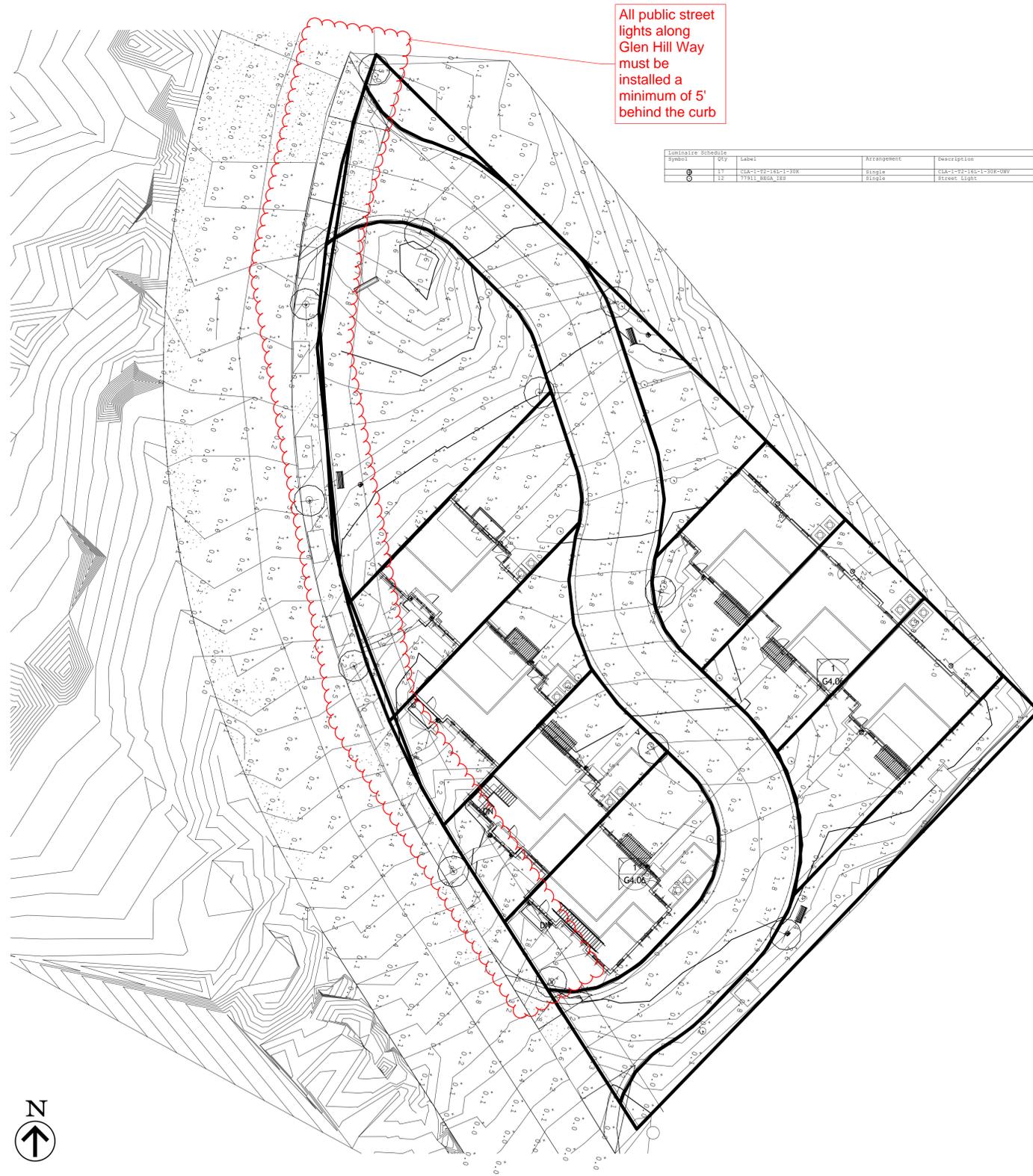
Site Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025

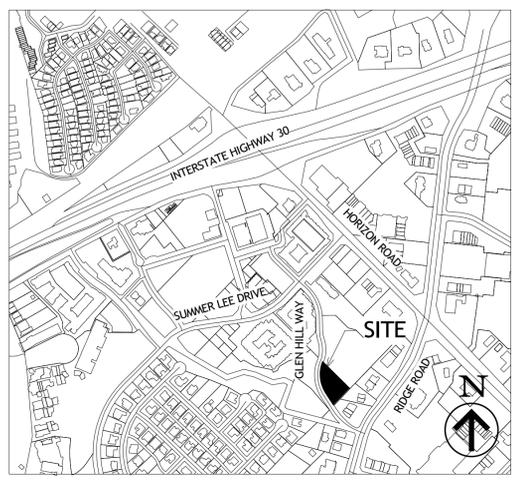
1 Site Plan Copy 1
1" = 20'-0"



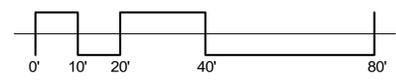
All public street lights along Glen Hill Way must be installed a minimum of 5' behind the curb

Symbol	Qty	Label	Arrangement	Description	BSF	Luminaire Lumens	Luminaire Watts	Total Watts	Arrangement
⊙	11	SLA-1-P2-161-1-30K	Single	SLA-1-P2-161-1-30K-DRY	1,300	3838	352	352	SE
⊙	12	77511-880K_160	Single	Street Light	1,300	3958	352	352	SE

VICINITY MAP



Site Data Summary Table	
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7
Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0
Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Photometric Study
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

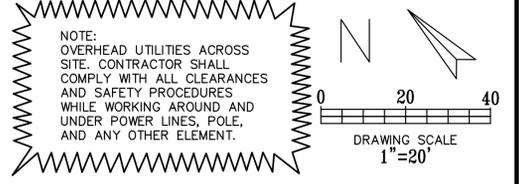
Owner:
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.862.1435

Photometric Study

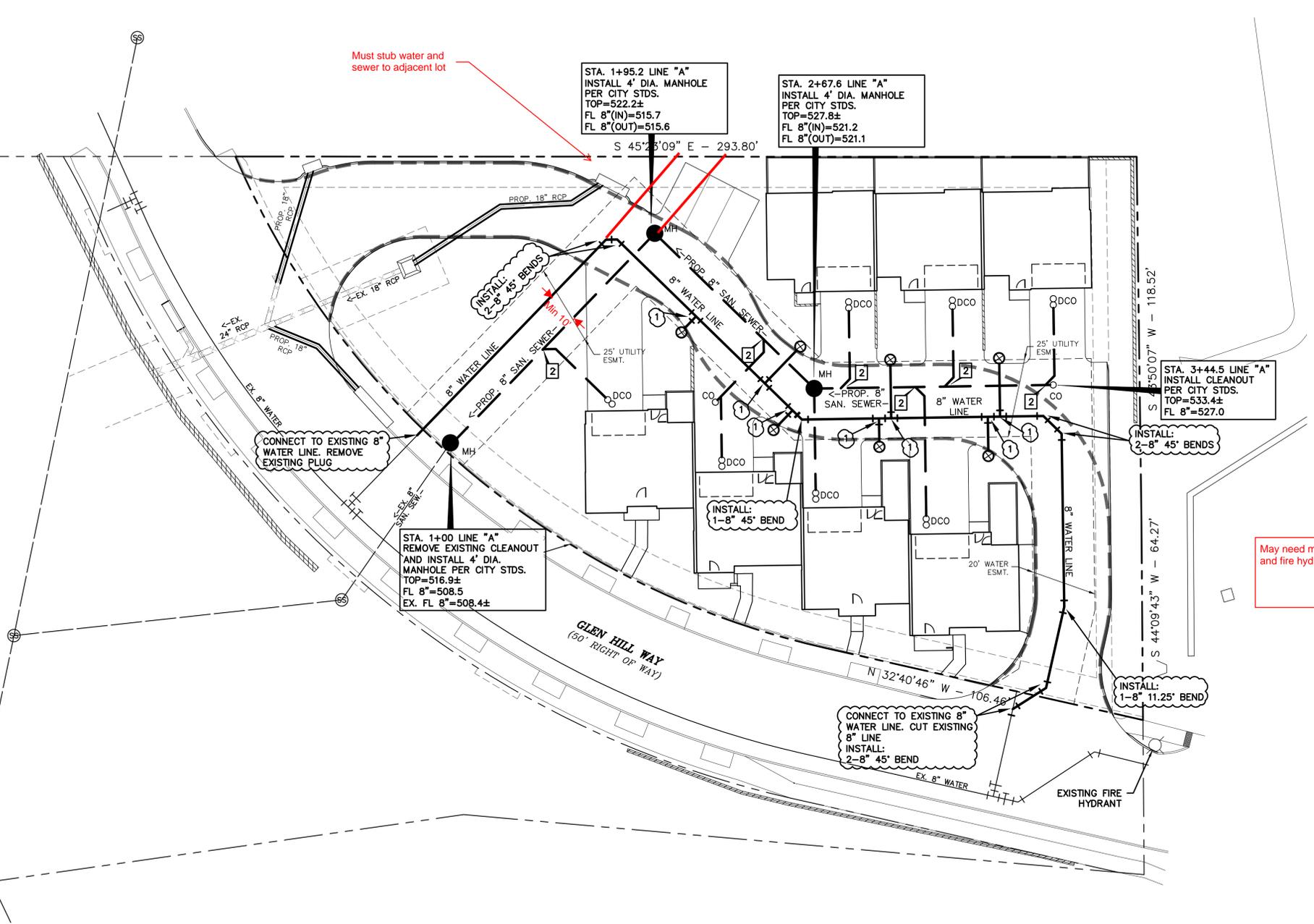
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025



NOTE:
OVERHEAD UTILITIES ACROSS SITE. CONTRACTOR SHALL COMPLY WITH ALL CLEARANCES AND SAFETY PROCEDURES WHILE WORKING AROUND AND UNDER POWER LINES, POLE, AND ANY OTHER ELEMENT.



- LEGEND**
- EXISTING CURB
 - - - PROPOSED CURB
 - PROPOSED SANITARY SEWER PIPE
 - EXISTING SANITARY SEWER PIPE
 - PROPOSED SANITARY SEWER CLEANOUT
 - PROPOSED WATER PIPE
 - EXISTING WATER PIPE
 - EXISTING STORM PIPE
 - PROPOSED STORM SEWER PIPE

8"x1" Tee. No reason for tapping sleeves

1. INSTALL:
1-1" TAPPING SLEEVE
1-8" METER AND BOX
2. INSTALL:
1-4" SEWER LATERAL

May need more 8" valves and fire hydrants

GENERAL NOTES

1. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THESE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR, PRIOR TO CONSTRUCTION, MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES AND SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND MUNICIPAL UTILITIES. THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF FINAL GRADE AND/OR PAVEMENT. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE AND SHALL BE APPROVED BY THE OWNER. SAID EXISTING IMPROVEMENTS INCLUDE BERMS, DITCHES, FENCES, VEGETABLE, ETC.
3. DURING THE CONSTRUCTION OF THIS PROJECT, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE RESOLVED BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE, WHICH ARE MADE DURING THE BIDDING PHASE, WILL HAVE NO BEARING ON THE DECISION.
4. ANY UTILITY TEST THAT FAILS TO MEET CITY/STATE REQUIREMENTS SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE. ALL PARTIES WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
5. CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, WYES, BENDS, CROSSES AND FIRE HYDRANTS. ALL CONCRETE FOR BLOCKING SHALL BE MINIMUM 3000 PSI CONCRETE. POLYETHYLENE WRAP SHALL BE INSTALLED AROUND ALL DUCTILE IRON FITTINGS AND VALVES. THE WRAP SHALL HAVE AN 8 MIL. THICKNESS AND BE WRAPPED AND HELD IN PLACE BY 2" WIDE PLASTIC BACKED ADHESIVE TAPE (POLYKEN 900, SCOTCHRAP NO. 50 OR EQUAL). THE WRAP SHALL BE INSTALLED WITHOUT BREAKS, TEARS OR HOLES IN THE FILM.
6. ALL WATER MAINS 12" AND SMALLER SHALL BE PVC A.W.W.A. C900, DR-14, CLASS 200 WATER PIPE.
7. ALL TAPPING SLEEVES, VALVES AND VALVE BOXES, FITTINGS AND THRUST BLOCKING SHALL BE PER THE DESIGN AND SPECIFICATIONS.
8. ALL MATERIALS, CONSTRUCTION, TESTING AND WORKMANSHIP SHALL CONFORM TO CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
9. WATER LINES CROSSING UNDER STORM SEWER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 24" OR AS GOVERNED BY TCEQ. PARALLEL WATER LINES SHALL BE AT LEAST 9' CLEAR HORIZONTALLY TO SANITARY SEWER LINES AND MANHOLES. WHERE MINIMUM CLEARANCE CANNOT BE ACHIEVED, WATER LINES SHALL BE ENCASED BY A MINIMUM 6" 3000 PSI (MIN. 5.5 SACK) CONCRETE TO 10' EITHER SIDE OF UTILITY CROSSING. WHERE WATER LINES CROSS CREEKS OR DITCHES, THE WATER LINE SHALL BE PROTECTED BY CONCRETE ENCASUREMENT AT LEAST 10' PAST THE EMBANKMENT SLOPE ON EACH SIDE.
10. ANY PLUMBING INSTALLED OUTSIDE OF R.O.W. OR AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY BUILDING INSPECTIONS.
11. ALL WATER LINES SHALL BE STERILIZED AND PRESSURE TESTED TO 200 PSI FOR A 3-HOUR CONTINUOUS PERIOD OR LONGER PER CITY STANDARDS. ALL TESTING AND STERILIZATION SHALL MEET OR EXCEED CITY SPECIFICATIONS.
12. ALL SANITARY SEWER PIPES 4" TO 15" SHALL BE PVC SDR 35 MEETING ASTM D3034 AND HAVE RUBBER GASKET JOINTS. ALL SANITARY SEWER PIPES 18" AND LARGER SHALL BE PVC MEETING ASTM F679.
13. ALL SANITARY SEWER LINES SHALL BE TESTED FOR INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH STANDARDS. TV INSPECTIONS, LOW PRESSURE AIR TESTING, VACUUM TESTING OF THE MANHOLES, AND MANDREL TESTING ARE REQUIRED ON ALL SEWER LINES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING ANY REQUIRED TRENCH SAFETY PLAN OR TRAFFIC CONTROL PLAN.
15. MECHANICAL JOINT VALVES AND FITTINGS AND ALL PIPE JOINTS LESS THAN 20 FEET FROM A VALVE OR FITTING SHALL BE EQUIPPED WITH JOINT RESTRAINT DEVICES. RESTRAINT DEVICES SHALL BE EBAA IRON, 2000 PV SERIES OR APPROVED EQUAL.
16. CONTRACTOR SHALL INSTALL LOCATING TAPE ON TOP OF ALL NEW UTILITY INSTALLATION. TAPE SHALL BE A MINIMUM OF 5.0 MIL OVERALL THICKNESS AND BE A MINIMUM OF 3" WIDE. CONTRACTOR SHALL USE STANDARD INDUSTRY COLORS FOR THE INSTALLATION (BLUE FOR WATER LINES, GREEN FOR SANITARY SEWER, ORANGE FOR COMMUNICATION, ETC.)
17. THE FIRE LINE, FDC LINE (IF APPLICABLE) AND ALL FIRE APERTURES SHALL BE DESIGN AND PERMITTED THROUGH THE JURISDICTIONAL AUTHORITY BY A STATE LICENSED FIRE SPRINKLER DESIGNER/CONTRACTOR. THE FIRE LINE IS SHOWN FOR REFERENCE ONLY.
18. WATER MAINS SHALL HAVE BLUE EMS LOCATOR PADS EVERY 250', CHANGE IN DIRECTION, VALVE, CURB STOP, AND SERVICE CONNECTION TO MAIN WATER MAIN.
19. GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN.
20. NO TREES SHALL BE PLANTED WITHIN 5' HORIZONTALLY FROM ANY PUBLIC UTILITIES.
21. ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
22. ALL WATER METERS SHALL HAVE A DOUBLE CHECK/BACKFLOW PREVENTION DEVICE INSTALLED ON THE PRIVATE SITE OF THE METER.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/11/25.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

Cumulus Design Firm #14810
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050
Tel. 214.235.0367

UTILITY PLAN			
GLEN HILL WAY TOWNHOMES			
CITY OF ROCKWALL			
ROCKWALL COUNTY, TEXAS			
LOT 3, BLOCK A, HARBOR HILLS ADDITION			
DATE	PROJECT NO	DRAWING SCALE	SHEET
6/11/25	CD24022	1" = 20'	C10.0

!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL • 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

REVISIONS		
REV NO.	DATE	DESCRIPTION



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3**

BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential as amended**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attachd**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **12**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ZAPA Investments LLC**

APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St**

ADDRESS **100 N. Cottonwood Drive**

Suite 104

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF June, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

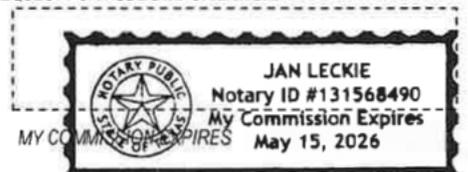
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF June, 2025

OWNER'S SIGNATURE

Matt Zahm

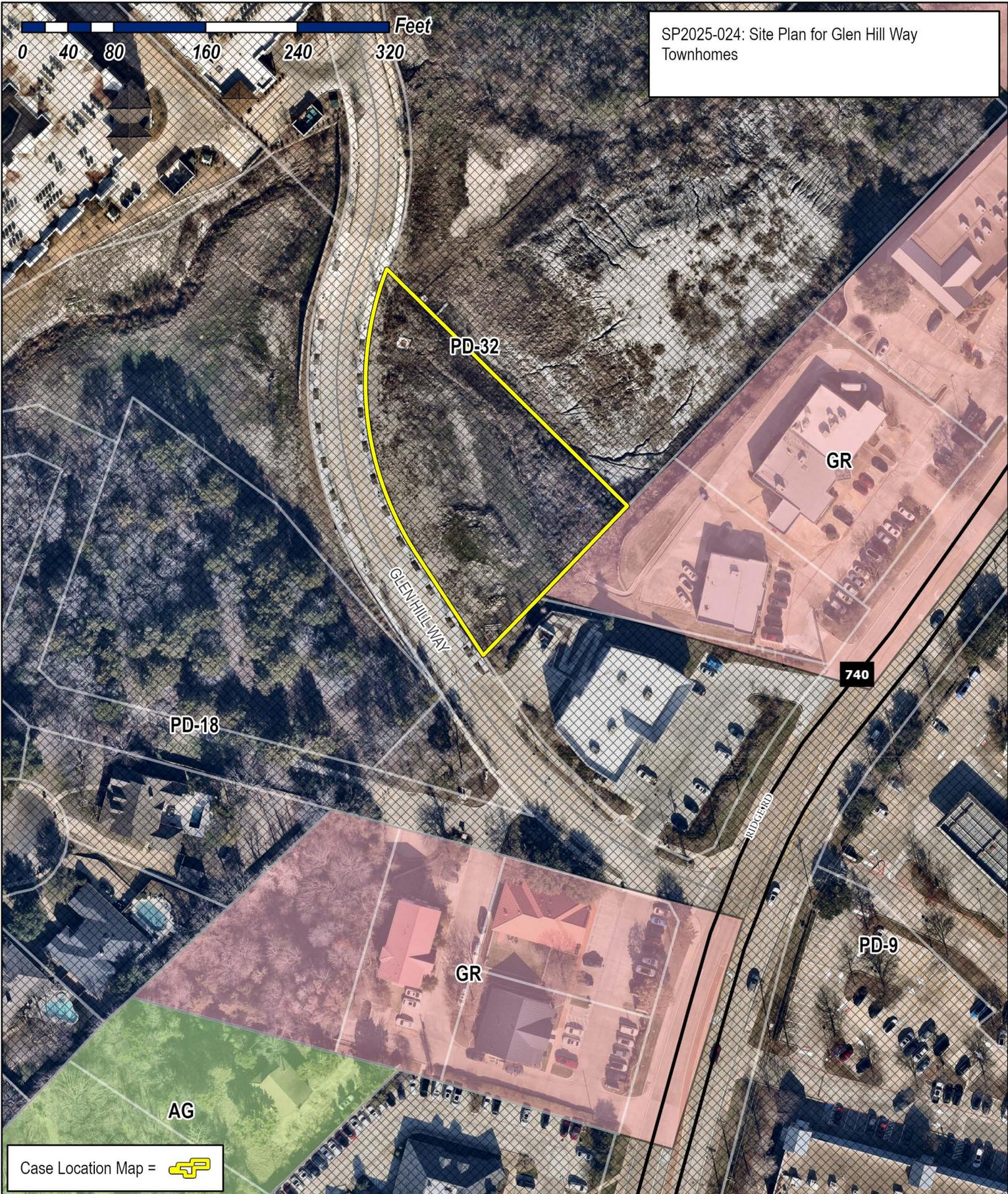
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



0 40 80 160 240 320 Feet

SP2025-024: Site Plan for Glen Hill Way Townhomes



Case Location Map = 

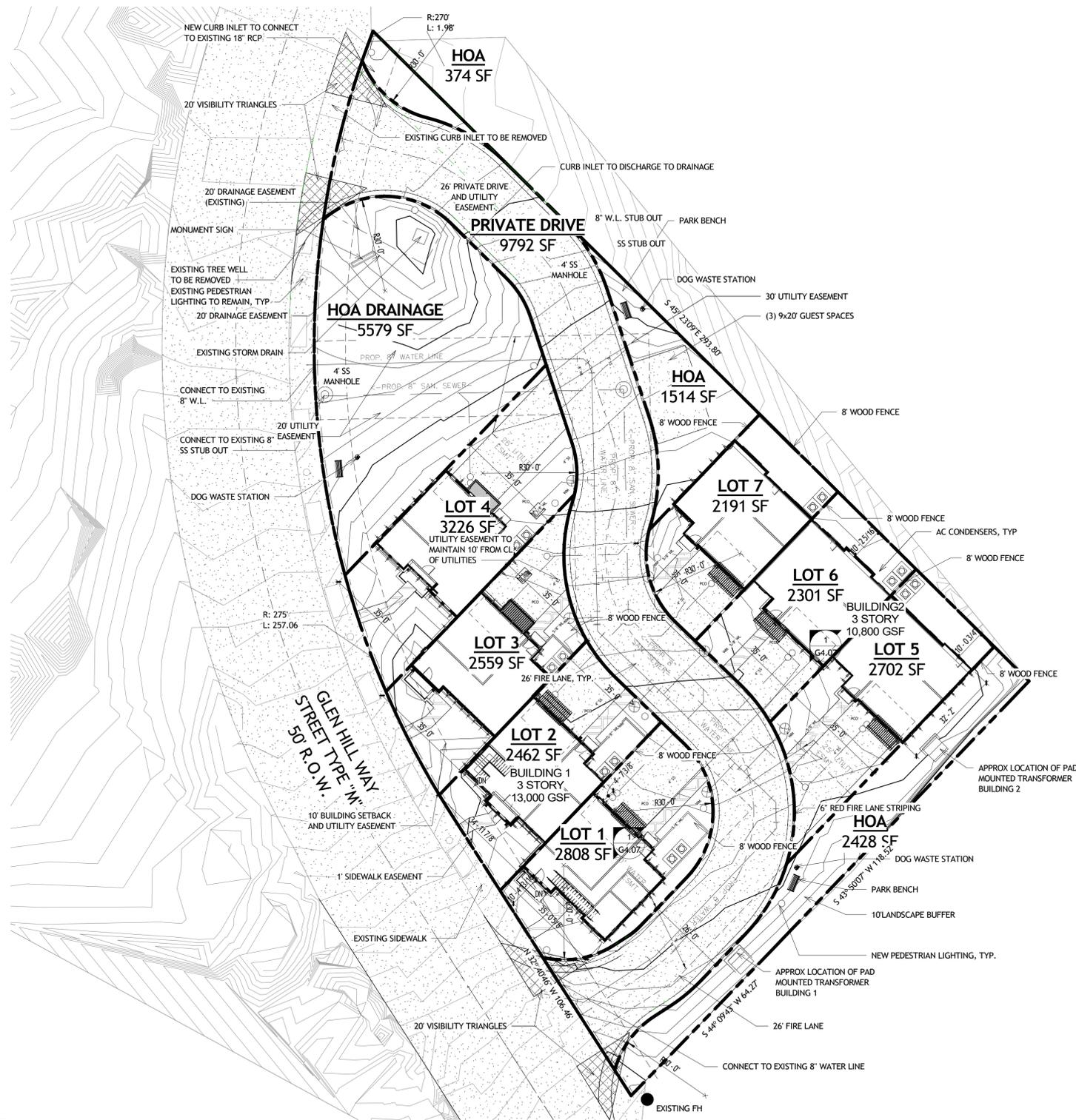


City of Rockwall

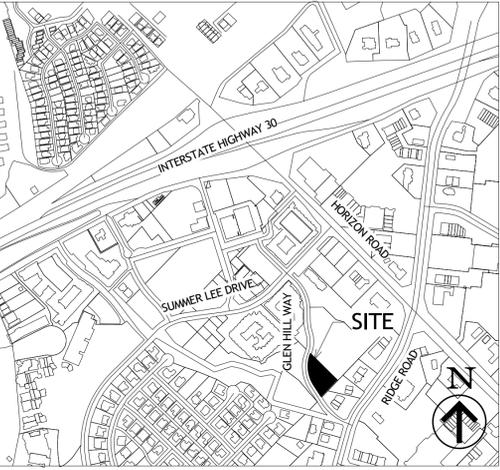
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

Site Data Summary Table

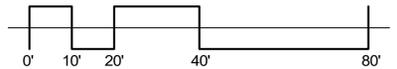
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acreage)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A

Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441

Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Site Plan Copy 1
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Site Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025

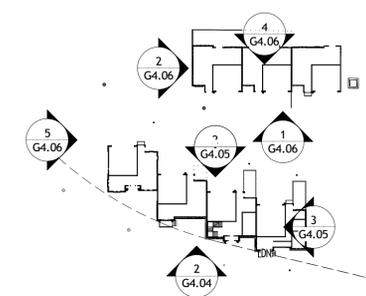


Building 1 Elevation West
 Masonry 1982 60%
 Stucco 1333 40%
 Total 3315

② Building 1 Facade - West
 1/8" = 1'-0"



① Articulation Plan West
 1/8" = 1'-0"



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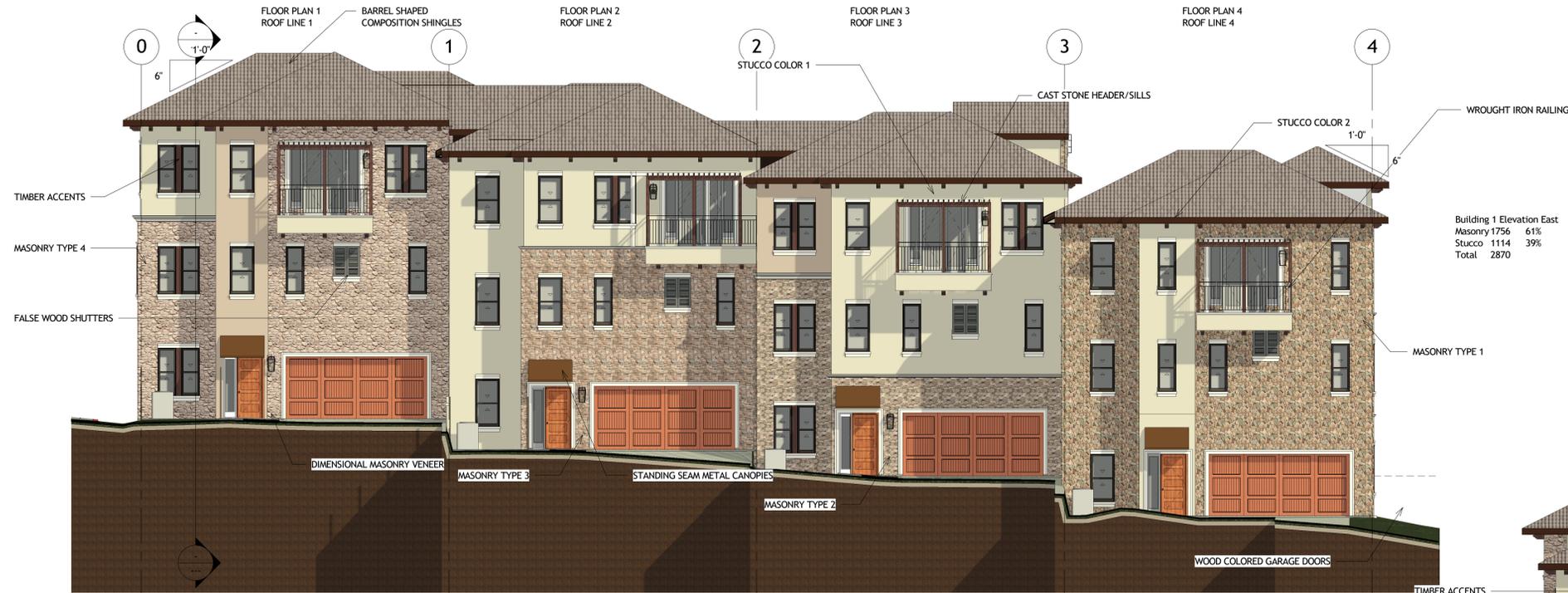
Zappo Investments, LLC
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 Richardson, Texas 75081
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Color Elevations

Rockwall Townhomes
 Glen Hill Way
 Lot 3 Block A Harbor Hills Addition
 Rockwall, Texas

City of Rockwall, Texas
 E. Teal Survey Abstract A207

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② Building 1 Facade - East
1/8" = 1'-0"



③ Building 1 Facade - South
1/8" = 1'-0"



① Articulation Plan East
1/8" = 1'-0"

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Richardson, Texas 75081
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Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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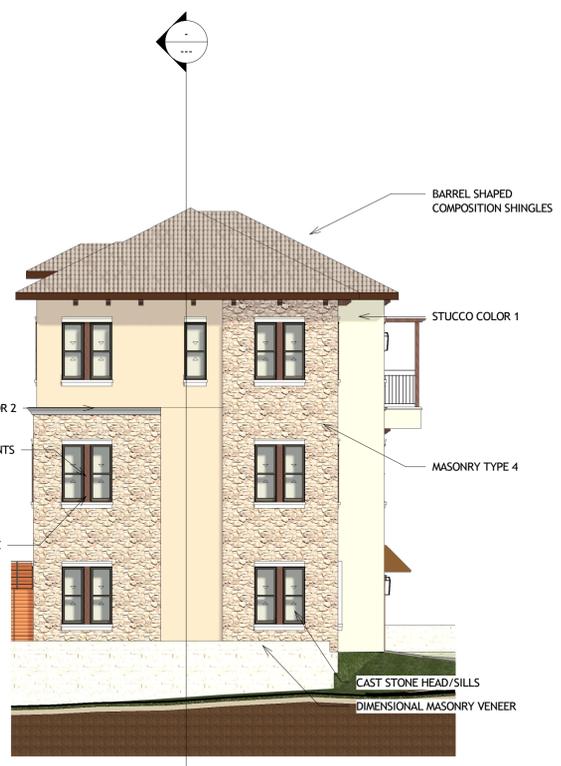
Prepared June 13, 2025



5 Building 1 Facade - North
1/8" = 1'-0"



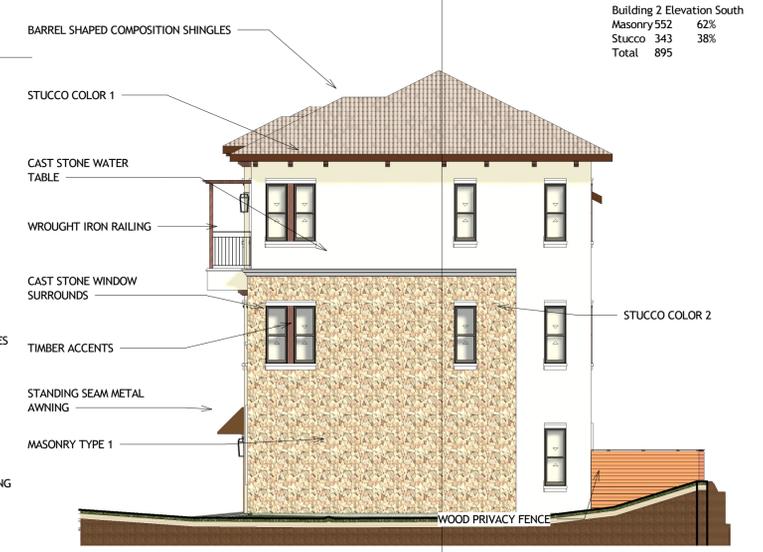
4 Building 2 Facade - East
1/8" = 1'-0"



2 Building 2 Facade - North
1/8" = 1'-0"



1 Building 2 Facade - West
1/8" = 1'-0"

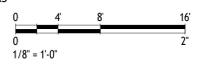


3 Building 2 Facade - South
1/8" = 1'-0"

Building 2 Elevation South
Masonry 552 62%
Stucco 343 38%
Total 895

Building 2 Elevation West
Masonry 1452 62%
Stucco 876 38%
Total 2328

Building 2 Elevation North
Masonry 534 63%
Stucco 310 37%
Total 844



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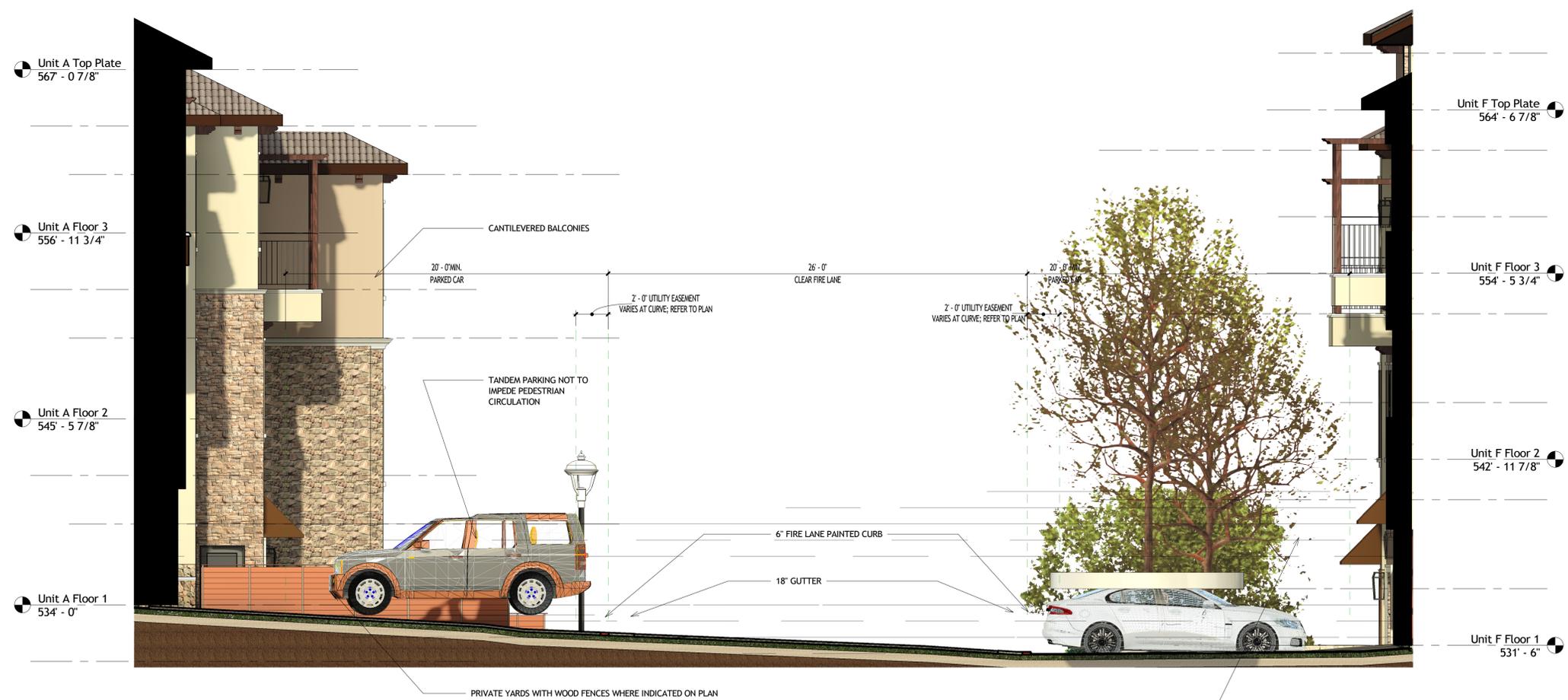
Owner:
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.862.1435

Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

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Unit A Top Plate
567' - 0 7/8"

Unit A Floor 3
556' - 11 3/4"

Unit A Floor 2
545' - 5 7/8"

Unit A Floor 1
534' - 0"

Unit F Top Plate
564' - 6 7/8"

Unit F Floor 3
554' - 5 3/4"

Unit F Floor 2
542' - 11 7/8"

Unit F Floor 1
531' - 6"

CANTILEVERED BALCONIES

20' - 0" MIN.
PARKED CAR

TANDEM PARKING NOT TO
IMPEDE PEDESTRIAN
CIRCULATION

PRIVATE YARDS WITH WOOD FENCES WHERE INDICATED ON PLAN

26' - 0"
CLEAR FIRE LANE

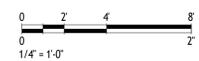
2' - 0" UTILITY EASEMENT
VARIES AT CURVE; REFER TO PLAN

2' - 0" UTILITY EASEMENT
VARIES AT CURVE; REFER TO PLAN

6" FIRE LANE PAINTED CURB

18" GUTTER

"FRONT DOORS" FACING DRIVE AISLE



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Drive Aisle Section
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
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① Drive Aisle Section
1/4" = 1'-0"



OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

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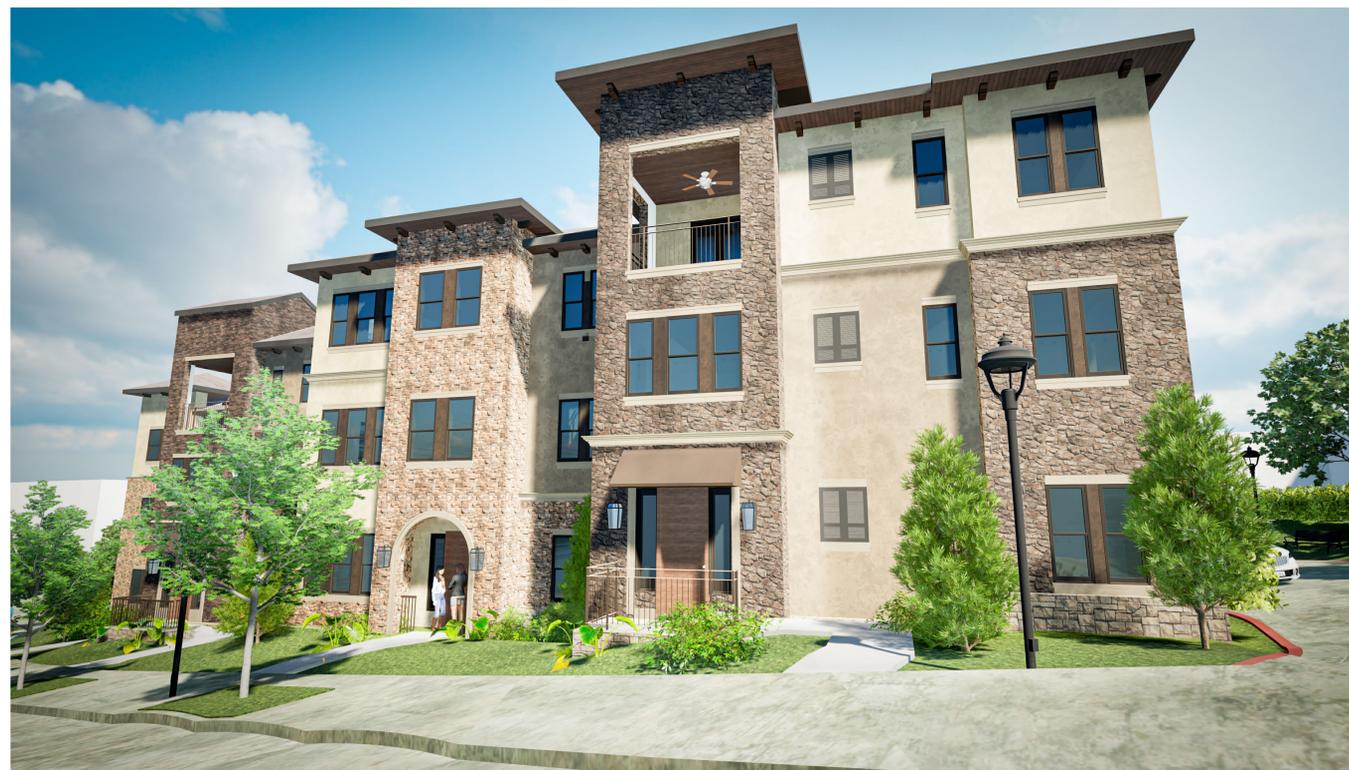
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
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Color Renderings

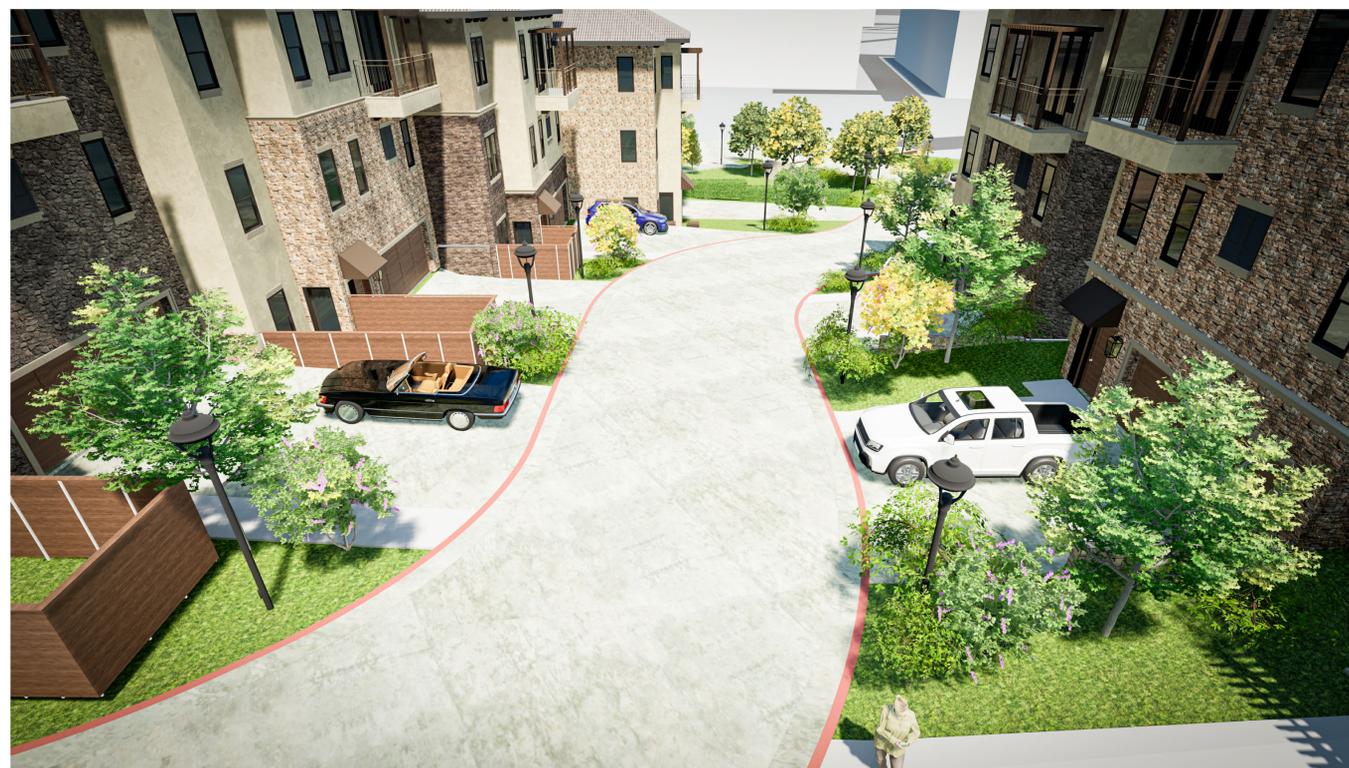
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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Prepared June 13, 2025



VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

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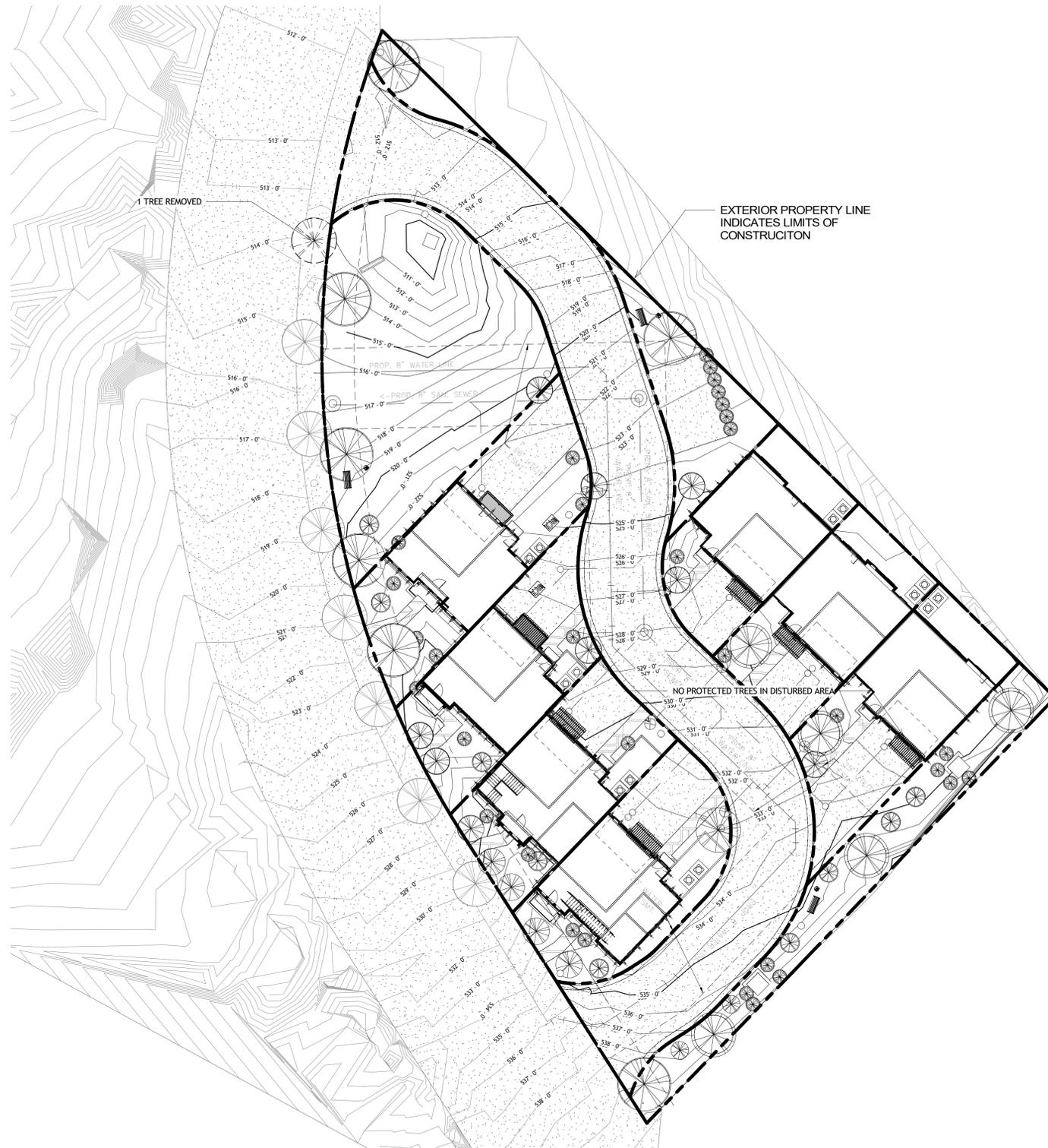
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Color Renderings

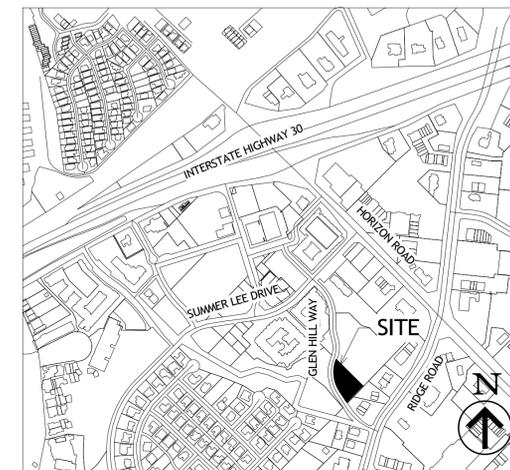
Rockwall Townhomes
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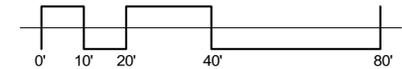


VICINITY MAP



Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7
Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0
Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
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Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Treescape Plan
1" = 20'-0"

GREENLIGHT

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www.greenlightcompany

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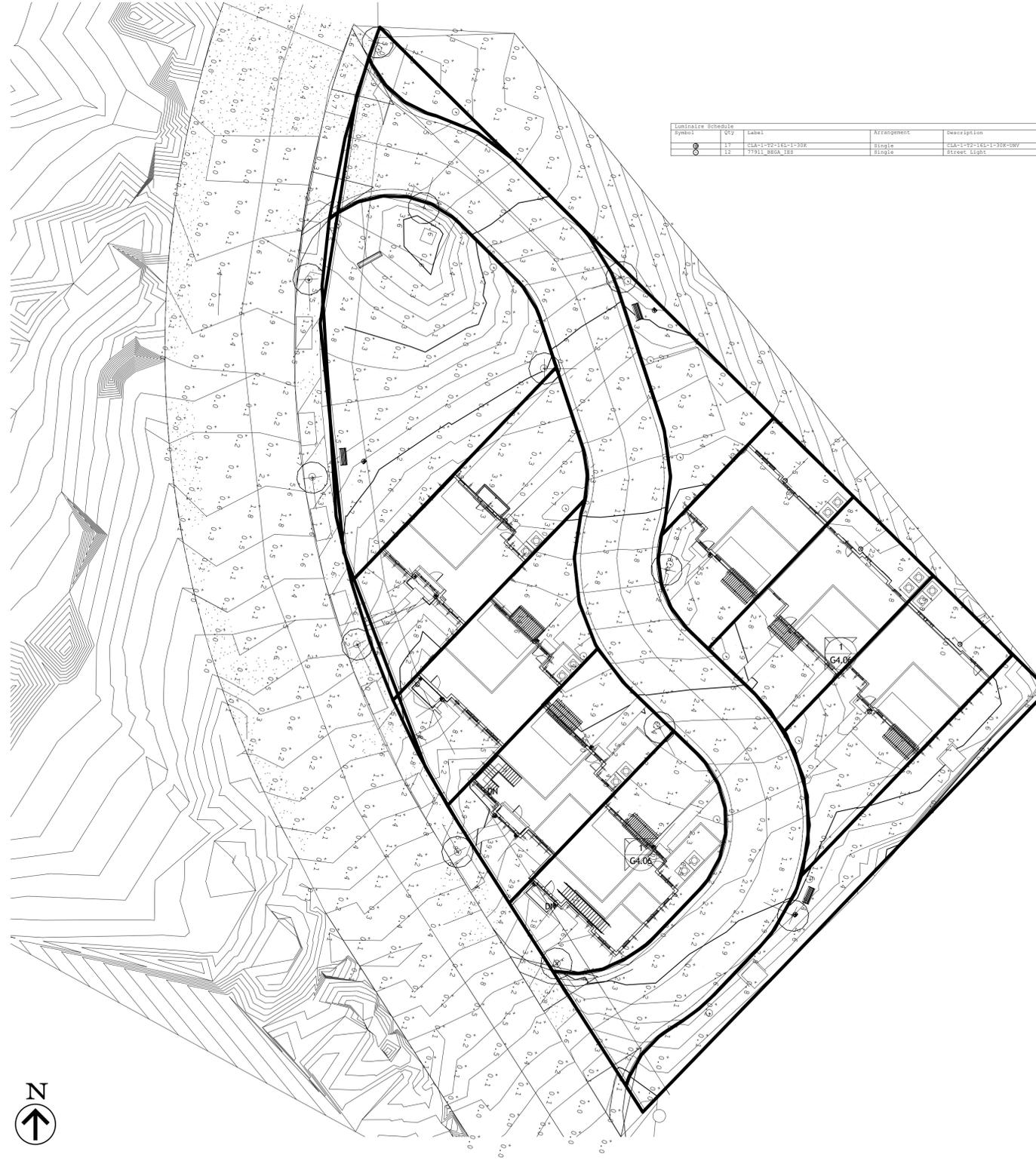
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
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Treescape Plan

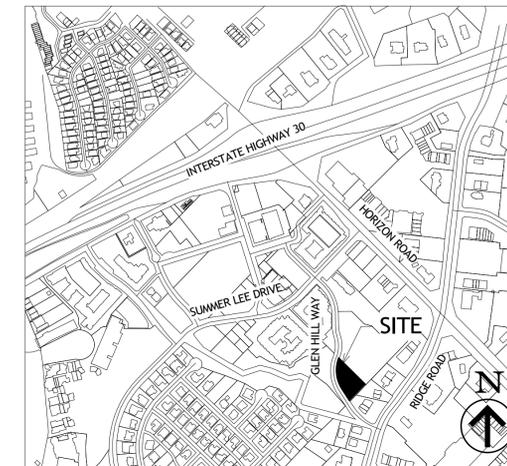
Rockwall Townhomes
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City of Rockwall, Texas
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VICINITY MAP



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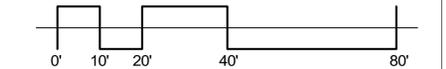
1 Photometric Study
1" = 20'-0"

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Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

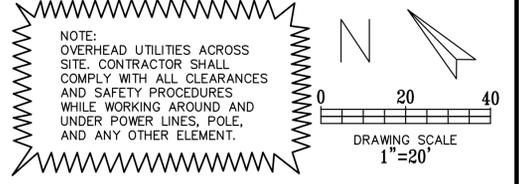


Photometric Study

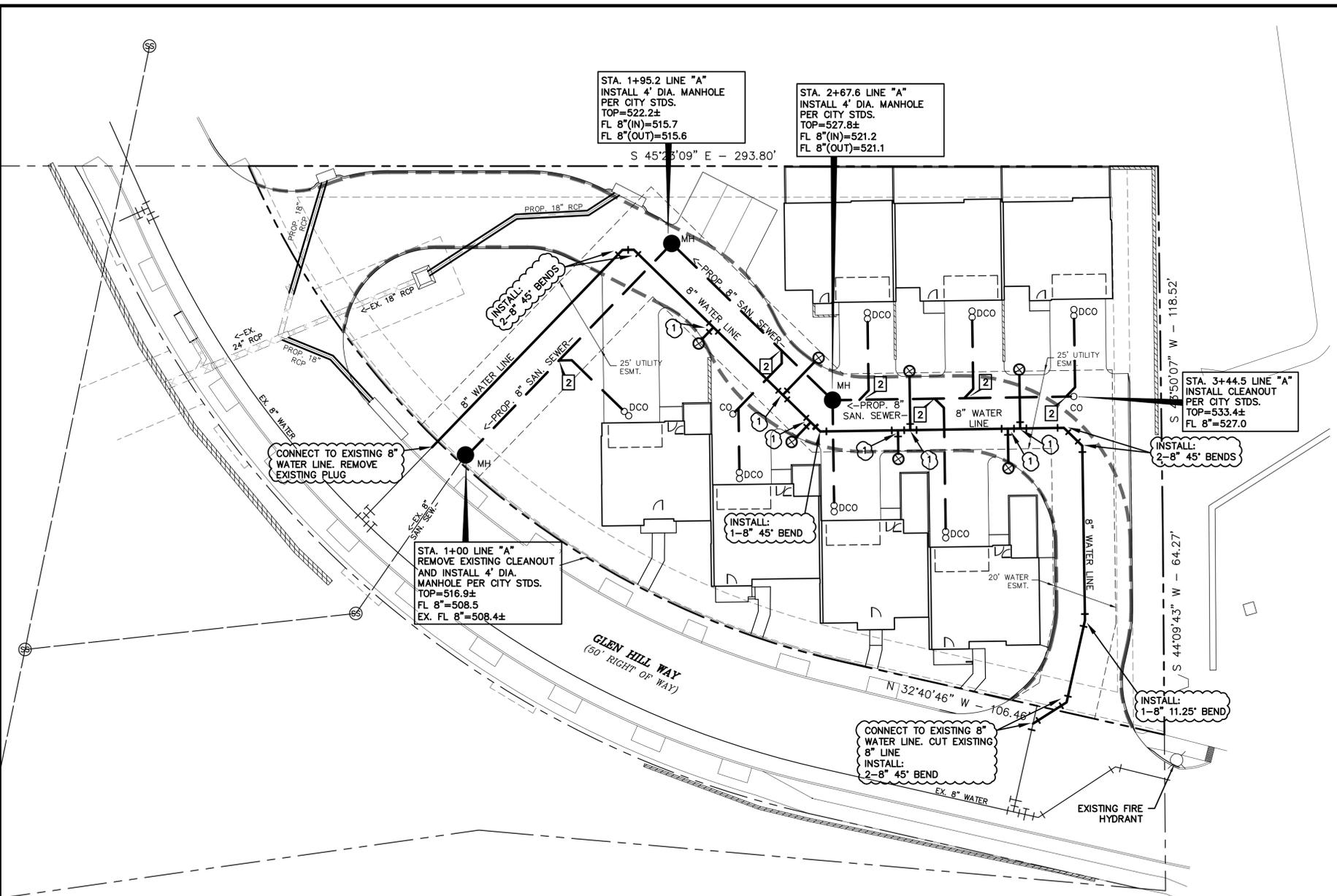
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025



NOTE:
OVERHEAD UTILITIES ACROSS SITE. CONTRACTOR SHALL COMPLY WITH ALL CLEARANCES AND SAFETY PROCEDURES WHILE WORKING AROUND AND UNDER POWER LINES, POLE, AND ANY OTHER ELEMENT.



STA. 1+95.2 LINE "A"
INSTALL 4' DIA. MANHOLE PER CITY STDS.
TOP=522.2±
FL 8"(IN)=515.7
FL 8"(OUT)=515.6

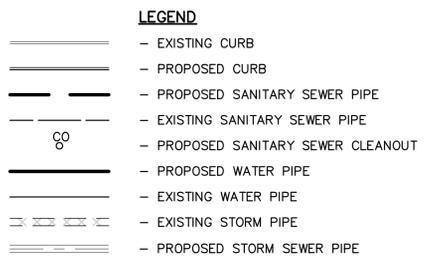
STA. 2+67.6 LINE "A"
INSTALL 4' DIA. MANHOLE PER CITY STDS.
TOP=527.8±
FL 8"(IN)=521.2
FL 8"(OUT)=521.1

STA. 3+44.5 LINE "A"
INSTALL CLEANOUT PER CITY STDS.
TOP=533.4±
FL 8"=527.0

STA. 1+00 LINE "A"
REMOVE EXISTING CLEANOUT AND INSTALL 4' DIA. MANHOLE PER CITY STDS.
TOP=516.9±
FL 8"=508.5
EX. FL 8"=508.4±

CONNECT TO EXISTING 8" WATER LINE. CUT EXISTING 8" LINE.
INSTALL:
2-8" 45° BEND

INSTALL:
1-8" 11.25° BEND



1. INSTALL:
1-1" TAPPING SLEEVE
1-8" METER AND BOX
2. INSTALL:
1-4" SEWER LATERAL

GENERAL NOTES

1. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THESE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR, PRIOR TO CONSTRUCTION, MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES AND SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND MUNICIPAL UTILITIES. THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF FINAL GRADE AND/OR PAVEMENT. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE AND SHALL BE APPROVED BY THE OWNER. SAID EXISTING IMPROVEMENTS INCLUDE BERMS, DITCHES, FENCES, VEGETABLE, ETC.
3. DURING THE CONSTRUCTION OF THIS PROJECT, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE RESOLVED BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE, WHICH ARE MADE DURING THE BIDDING PHASE, WILL HAVE NO BEARING ON THE DECISION.
4. ANY UTILITY TEST THAT FAILS TO MEET CITY/STATE REQUIREMENTS SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE. ALL PARTIES WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
5. CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, WYES, BENDS, CROSSES AND FIRE HYDRANTS. ALL CONCRETE FOR BLOCKING SHALL BE MINIMUM 3000 PSI CONCRETE. POLYETHYLENE WRAP SHALL BE INSTALLED AROUND ALL DUCTILE IRON FITTINGS AND VALVES. THE WRAP SHALL HAVE AN 8 MIL. THICKNESS AND BE WRAPPED AND HELD IN PLACE BY 2" WIDE PLASTIC BACKED ADHESIVE TAPE (POLYKEN 900, SCOTCHRAP NO. 50 OR EQUAL). THE WRAP SHALL BE INSTALLED WITHOUT BREAKS, TEARS OR HOLES IN THE FILM.
6. ALL WATER MAINS 12" AND SMALLER SHALL BE PVC A.W.W.A. C900, DR-14, CLASS 200 WATER PIPE.
7. ALL TAPPING SLEEVES, VALVES AND VALVE BOXES, FITTINGS AND THRUST BLOCKING SHALL BE PER THE DESIGN AND SPECIFICATIONS.
8. ALL MATERIALS, CONSTRUCTION, TESTING AND WORKMANSHIP SHALL CONFORM TO CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
9. WATER LINES CROSSING UNDER STORM SEWER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 24" OR AS GOVERNED BY TCEQ. PARALLEL WATER LINES SHALL BE AT LEAST 9' CLEAR HORIZONTALLY TO SANITARY SEWER LINES AND MANHOLES. WHERE MINIMUM CLEARANCE CANNOT BE ACHIEVED, WATER LINES SHALL BE ENCASED BY A MINIMUM 6" 3000 PSI (MIN. 5.5 SACK) CONCRETE TO 10' EITHER SIDE OF UTILITY CROSSING. WHERE WATER LINES CROSS CREEKS OR DITCHES, THE WATER LINE SHALL BE PROTECTED BY CONCRETE ENCASEMENT AT LEAST 10' PAST THE EMBANKMENT SLOPE ON EACH SIDE.
10. ANY PLUMBING INSTALLED OUTSIDE OF R.O.W. OR AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY BUILDING INSPECTIONS.
11. ALL WATER LINES SHALL BE STERILIZED AND PRESSURE TESTED TO 200 PSI FOR A 3-HOUR CONTINUOUS PERIOD OR LONGER PER CITY STANDARDS. ALL TESTING AND STERILIZATION SHALL MEET OR EXCEED CITY SPECIFICATIONS.
12. ALL SANITARY SEWER PIPES 4" TO 15" SHALL BE PVC SDR 35 MEETING ASTM D3034 AND HAVE RUBBER GASKET JOINTS. ALL SANITARY SEWER PIPES 18" AND LARGER SHALL BE PVC MEETING ASTM F679.
13. ALL SANITARY SEWER LINES SHALL BE TESTED FOR INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH STANDARDS. TV INSPECTIONS, LOW PRESSURE AIR TESTING, VACUUM TESTING OF THE MANHOLES, AND MANDREL TESTING ARE REQUIRED ON ALL SEWER LINES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING ANY REQUIRED TRENCH SAFETY PLAN OR TRAFFIC CONTROL PLAN.
15. MECHANICAL JOINT VALVES AND FITTINGS AND ALL PIPE JOINTS LESS THAN 20 FEET FROM A VALVE OR FITTING SHALL BE EQUIPPED WITH JOINT RESTRAINT DEVICES. RESTRAINT DEVICES SHALL BE EBAA IRON, 2000 PV SERIES OR APPROVED EQUAL.
16. CONTRACTOR SHALL INSTALL LOCATING TAPE ON TOP OF ALL NEW UTILITY INSTALLATION. TAPE SHALL BE A MINIMUM OF 5.0 MIL OVERALL THICKNESS AND BE A MINIMUM OF 3" WIDE. CONTRACTOR SHALL USE STANDARD INDUSTRY COLORS FOR THE INSTALLATION (BLUE FOR WATER LINES, GREEN FOR SANITARY SEWER, ORANGE FOR COMMUNICATION, ETC.)
17. THE FIRE LINE, FDC LINE (IF APPLICABLE) AND ALL FIRE APERTURES SHALL BE DESIGN AND PERMITTED THROUGH THE JURISDICTIONAL AUTHORITY BY A STATE LICENSED FIRE SPRINKLER DESIGNER/CONTRACTOR. THE FIRE LINE IS SHOWN FOR REFERENCE ONLY.
18. WATER MAINS SHALL HAVE BLUE EMS LOCATOR PADS EVERY 250', CHANGE IN DIRECTION, VALVE, CURB STOP, AND SERVICE CONNECTION TO MAIN WATER MAIN.
19. GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN.
20. NO TREES SHALL BE PLANTED WITHIN 5' HORIZONTALLY FROM ANY PUBLIC UTILITIES.
21. ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
22. ALL WATER METERS SHALL HAVE A DOUBLE CHECK/BACKFLOW PREVENTION DEVICE INSTALLED ON THE PRIVATE SITE OF THE METER.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/11/25.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL • 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

REVISIONS		
REV NO.	DATE	DESCRIPTION

Cumulus Design Firm #14810
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050
Tel. 214.235.0367

UTILITY PLAN

GLEN HILL WAY TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
LOT 3, BLOCK A, HARBOR HILLS ADDITION

DATE	PROJECT NO	DRAWING SCALE	SHEET
6/11/25	CD24022	1" = 20'	C10.0

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/19/2025

PROJECT NUMBER: SP2025-025
PROJECT NAME: Site Plan for a House of Worship
SITE ADDRESS/LOCATIONS: 1362 E FM 552

CASE CAPTION: Discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for the approval of a Site Plan for the expansion of an existing Church/House of Worship (i.e. Ridgeview Church) on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	06/19/2025	Approved w/ Comments

06/19/2025: SP2025-025; Site Plan for an Existing Church/House of Worship at 1362 FM-552
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for the expansion of an existing Church/House of Worship (i.e. Ridgeview Church) on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (SP2025-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 The subject property will be required to be replat after the engineering process to establish the property lines and new easements necessary for development.
- M.5 Please remove all proposed signage from the site plan and building elevations. All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)
- M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages (i.e. Site Plan, Building Elevations, Landscape Plan, Treescap Plan, Photometric Plan) of the plans. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan:

1. Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
2. Indicate all drive/turning radii. (Subsection 03.04B, of Article 11, UDC)
3. Indicate all drive widths. (Subsection 03.04B, of Article 11, UDC)
4. Provide square footage and use of each room on the floor plan for both the proposed addition and the existing building. (Subsection 03.04B, of Article 11, UDC)
5. Indicate the type and depth of the paving material and provide a detail or cut-sheet. (Subsection 03.02, of Article 05, UDC)
6. A decorative metal fence and chain link fence called out on your plans. Please provide the height of the proposed fencing and any other existing. (Subsection 08.02F, of Article 08, UDC)
7. Is there any proposed pad/ground mounted utility equipment? If so, please delineate it and provide the subsequent screening on the landscape plan. (Subsection 01.05. C, of Article 05, UDC)
8. Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05, UDC)
9. Please provide a dumpster detail that meets the Unified Development Code; "(t)rash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards." (Subsection 01.05. B, of Article 05, UDC)
10. Please indicate that there will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)

M.8 Landscape Plan:

1. Please note that all canopy trees shall be at least four (4) inch caliper, accent trees at least four (4) feet tall, and shrubs at least five (5) gallon. Please correct this on the landscape plan. (Subsection 05.01, of Article 08, UDC)
2. Please correct the landscaping required for the detention ponds. There must be one (1) canopy tree per 750 SF of detention and one (1) accent tree per 1,500 SF of detention. In this case, you provide the required 20 canopy trees but are missing 10 accent trees. (Subsection 05.02. D, of Article 08, UDC)

M.9 Treescape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.
2. Please note that if any trees are being removed from the property, a Tree Day is required to be held.

M.10 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. The foot-candles at all property lines must not exceed 0.2 FC. In this case, there are areas on the property where this 0.2 FC requirement is exceeded. (Subsection 03.03. B, of Article 07, UDC)
3. Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc. for the entirety of the property. (Subsection 03.03D, if Article 07, UDC)

M.11 Building Elevations:

1. Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, of Article 05, UDC)
2. Specify and describe all proposed building materials on all proposed buildings. (Subsection 04.01, of Article 05, UDC)
3. Indicate the roofing materials and color. (Section 6.1 of this checklist)
4. Please indicate the roof pitch. The minimum roof pitch is 6:12. (Subsection 04.01, of Article 05, UDC)
5. The maximum permissible height in a General Retail (GR) District is 36-feet. Please ensure the building height is in conformance with this requirement. (Subsection 04.01, of

Article 05, UDC)

6. Indicate the parapet wall height by dashing in the top of the roof deck. Please note that projecting elements and parapets shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01, of Article 05, UDC)
7. Indicate any roof mounted mechanical equipment if any. (Subsection 01.05C, of Article 05, UDC)
8. Indicate other design elements if any. (Section 6.1 of this checklist)
9. Ensure the proposed building materials match the materials on the existing building. (SUP Ordinance)
10. Ensure that the submitted elevations match the elevations submitted through the SUP Ordinance. The submitted elevations do not appear to match the ones provided during the SUP process. (SUP Ordinance)
11. Provide building elevations of the existing building. (Section 6.1 of this checklist)
12. Provide dumpster enclosure elevations; the dumpster enclosure gate must be self-latching. (Subsection 01.05. B, of Article 05, UDC)
13. The proposed building does not meet the primary articulation requirements on the west elevation. Specifically, item 5 which states that the primary architectural depth should be 12-feet.
14. The proposed building also does not meet the secondary articulation requirements on the west elevation. Specifically, items 2,4, and 5. The building should have a wall length of 55-feet, 10-inches, a secondary architectural depth of 8-feet, 4-inches, and a projection height of 2-feet, 10-inches. (Subsection 04.01. C.1, of Article 05)

I.12 Staff has identified the following variances associated with the proposed request: [1] primary articulation, and [2] secondary articulation. Per the Unified Development Code Subsection 09.01, of Article 11, two (2) compensatory measures are required for each variance requested. In this case four (4) compensatory measures must be provided to offset the two (2) variances requested. The same section of code outlines examples of compensatory measures, however other requests may be made to serve as compensatory measures. The variances are discretionary for the Planning and Zoning Commission. Staff suggests that the building elevations and other non-conformities of the submittal be changed to meet the requirements of the UDC.

M.13 Provide staff with a variance request letter outlining the variances requested, the reasons for the request (i.e. the hardship or reason that you cannot meet the code requirements), and the subsequent compensatory measures. (Subsection 09.01, of Article 11)

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on July 1, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 15, 2025 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on June 24, 2025.
- 2) Planning & Zoning meeting/public hearing meeting will be held on July 15, 2025.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). Please note that a representative(s) is required to be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/17/2025	Approved w/ Comments

06/17/2025: 1. Utility easement.

2. There is a large existing drainage swale that runs through the site - you will need to capture that and route it around this new parking area.

3. Dumpster enclosure cannot be within easement.

4. Fire hydrant must be 5' from back of curb to allow 5' clearance around the FH

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
- No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone faced. Smooth faced concrete walls are not allowed.
- No signage is allowed within easements or ROW.
- No structures or fences within easements.
- All utilities must be underground.
- Tree mitigation will be required for the removal of any existing trees on site.
- Dumpsters may not directly face a roadway.
- TXDOT permits required for any utility, drainage, and driveway improvements within the FM 552 ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.

Drainage Items:

- Existing flow patterns must be maintained.
- Stormwater cannot increase off the property in any direction.
- Detention must be provided.
- Detention is based on property zoning, not use of specific area.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the freeboard elevation.
- No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Detention ponds must be irrigated.
- No water or sewer lines can be in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Any public sewer lines must be a minimum of 8", and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Maximum hydrant lead length is 50'.
- Water will have to be looped around the building.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 8" water main within the site available for use.
- There is an existing 6" sewer connection within the site available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Sewer pro-rata of \$86.44/acre on 3.35 acres (original lots 19 & 20 of Skyview Country Estates)
- Install the 8" water loop in the fire lane to remove any landscape conflicts.
- The 8" water line isn't installed around the eastern side of the building.

Roadway Paving Items:

- All driveways must meet City and TXDOT spacing requirements.
- All parking, storage, and drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- Parallel parking spaces are minimum 22'x9'
- No dead-end parking allowed without an approved City turnaround, 15'x64' striped no parking area.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Drainage culverts for driveways (if needed) will need to be engineered.
- A TXDOT permit will be required for any driveway modifications along FM 552.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/17/2025	Approved w/ Comments

06/17/2025: Please ensure that all parking requiring head light glare screen is included.

There is a large existing drainage swale that runs through the site - you will need to capture that and route it around this new parking area.

Dumpster enclosure cannot be within easement.

Fire hydrant must be 5' from back of curb to allow 5' clearance around the FH

Utility easement.

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements.
 - No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock, stone, or stone faced. Smooth faced concrete walls are not allowed.
 - No signage is allowed within easements or ROW.
 - No structures or fences within easements.
 - All utilities must be underground.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - Dumpsters may not directly face a roadway.
 - TXDOT permits required for any utility, drainage, and driveway improvements within the FM 552 ROW.
 - Need to show existing and proposed utilities on the Site Plan.
 - Additional comments may be provided at time of Site Plan and Engineering.

- Drainage Items:**
- Existing flow patterns must be maintained.
 - Stormwater cannot increase off the property in any direction.
 - Detention must be provided.
 - Detention is based on property zoning, not use of specific area.
 - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
 - Detention easement required at the freeboard elevation.
 - No vertical walls are allowed in detention easement.
 - Detention pond is required to have an emergency spillway.
 - Detention ponds must be irrigated.
 - No water or sewer lines can be in detention easement.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No grate inlets allowed.
 - FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
 - Dumpster areas shall drain to an oil/water separator and then into the storm system.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Any public sewer lines must be a minimum of 8", and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Maximum hydrant lead length is 50'.
 - Water will have to be looped around the building.
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - There is an existing 8" water main within the site available for use.
 - There is an existing 6" sewer connection within the site available for use.
 - Water and sanitary sewer and storm sewer must be 10' apart.
 - All public utilities must be centered in an easement. Min 20' utility easements.
 - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
 - Sewer pro-rata of \$86.44/acre on 3.35 acres (original lots 19 & 20 of Skyview Country Estates)
 - Install the 8" water loop in the fire lane to remove any landscape conflicts.
 - The 8" water line isn't installed around the eastern side of the building.

- Roadway Paving Items:**
- All driveways must meet City and TXDOT spacing requirements.
 - All parking, storage, and drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
 - No rock, gravel, or asphalt allowed in any area.
 - All parking to be 20'x9' minimum.
 - Parallel parking spaces are minimum 22'x9'
 - No dead-end parking allowed without an approved City turnaround, 15'x64' striped no parking area.
 - Drive isles to be 24' wide.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane (if needed) to be in a platted easement.
 - Drainage culverts for driveways (if needed) will need to be engineered.
 - A TXDOT permit will be required for any driveway modifications along FM 552.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

NOTE:
LINEWORK BASED ON TOPOGRAPHIC SURVEY INFORMATION ACQUIRED ON 4/04/2025 BY WINDROSE SURVEYING AND LAND SERVICES, LLC

TEXAS ONE CALL
CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES

OWNER:
RIDGEVIEW CHURCH
1362 FM ROAD 552
ROCKWALL, TEXAS 75087
PHONE: 972.771.2661
ATTN: FELIX TAN

ENGINEER:
SUTHERLAND KING CONSULTING, LLC
6430 MEADOWCREEK DRIVE
DALLAS, TEXAS 75254
PHONE: 214.208.0519
ATTN: GRAYSON HUGHES, PE

SURVEYOR:
WINDROSE SURVEYING & LAND SERVICES, LLC
1959 LAKEWAY DRIVE
LEWISVILLE, TEXAS 75057
PHONE: 325.217.2544
ATTN: CHAD ODEN

ROCKWALL SITE PLAN CASE No. _____

SITE PLAN SIGNATURE BLOCK
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE FOLLOWING DATE:
APPROVAL DATE: _____
WITNESS OUR HANDS ON THIS ____ DAY OF _____, 2025
PLANNING & ZONING COMMISSION, CHAIR _____ PLANNING DIRECTOR _____

PROJECT NUMBER	2024.011
DRAWING DATE	2025.06.13
SCALE	1"=40'
DESIGNED BY	GKH
SHEET NUMBER	C1.0

No.	DATE	DESCRIPTION

SUTHERLAND KING
6430 MEADOWCREEK DR
DALLAS, TX 75254
SUTHERLANDKING.COM
TX FIRM NO. F-229938
PHONE: 214.208.0519

PRELIMINARY
FOR PRELIMINARY REVIEW, PERMIT, OR PRICING PURPOSES ONLY.
PREPARED BY:
GRAYSON K. HUGHES, PE

SITE PLAN
RIDGEVIEW CHURCH EXPANSION
1362 EAST FM ROAD 552
ROCKWALL, TEXAS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1362 FM Road 552

SUBDIVISION Skyview Country Estates No. 3

LOT 28

BLOCK

GENERAL LOCATION Northeast corner of FM Road 552 and Breezy Hill Lane

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING General Retail

CURRENT USE Worship Center

PROPOSED ZONING General Retail

PROPOSED USE Worship Center

ACREAGE 7.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ridgeview Church

APPLICANT Sutherland King Consulting, LLC

CONTACT PERSON Felix Tan

CONTACT PERSON Grayson Hughes

ADDRESS 1362 FM Road 552

ADDRESS 6430 Meadowcreek Drive

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75254

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

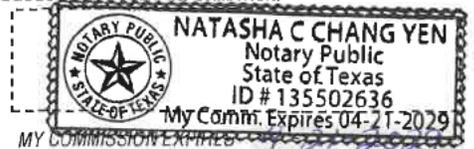
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Felix Tan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

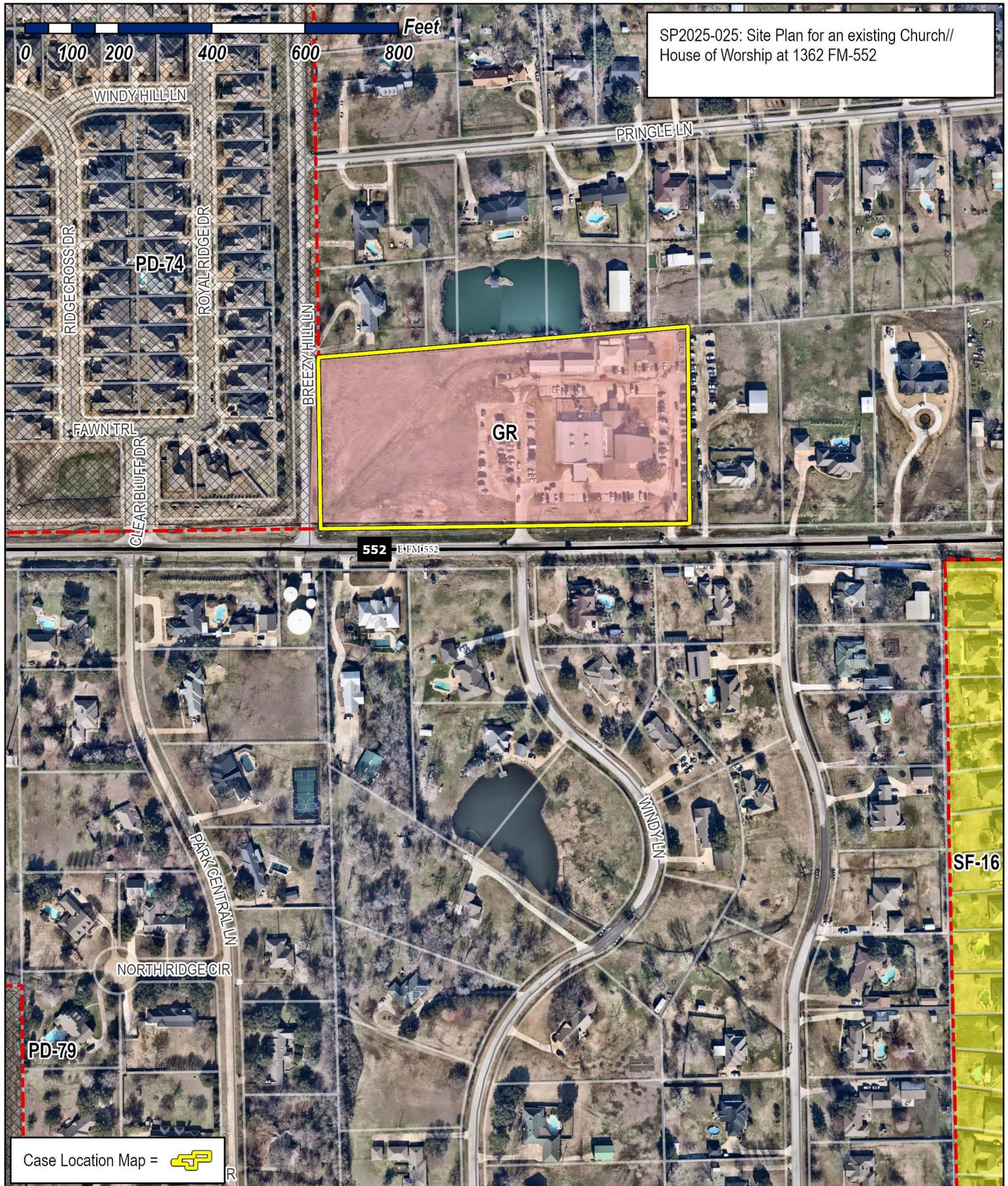
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 410.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF June, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF June, 2025.

OWNER'S SIGNATURE Felix Tan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Natasha C Chang Yen





SP2025-025: Site Plan for an existing Church//
House of Worship at 1362 FM-552

Case Location Map = 

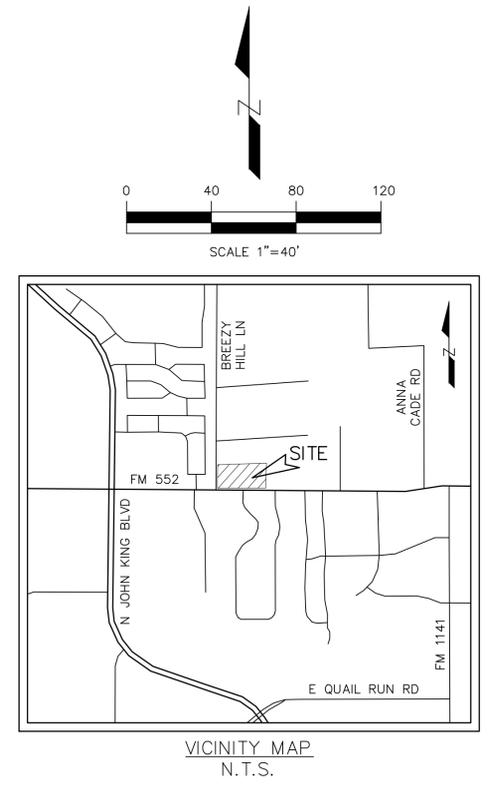
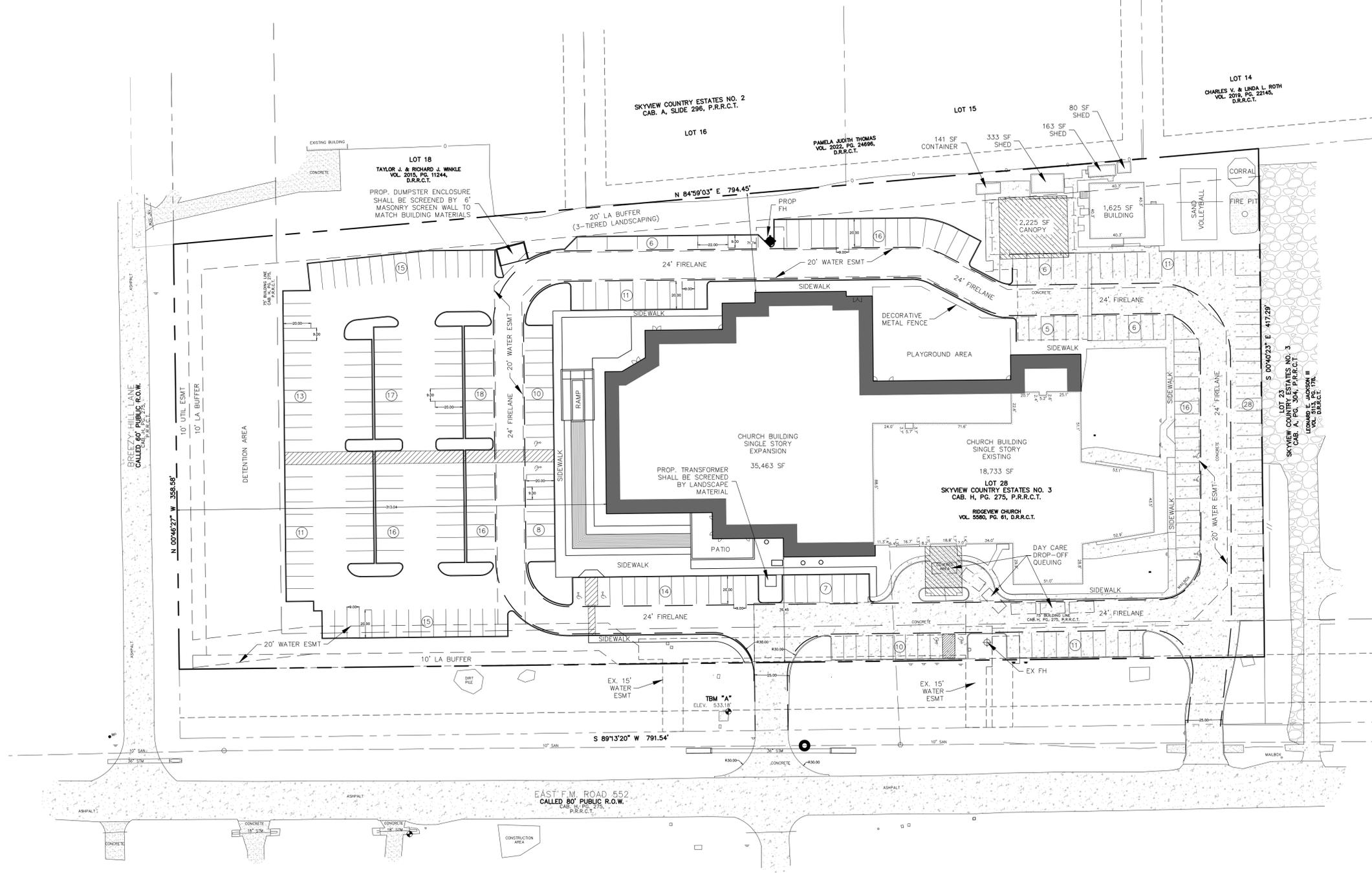


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA TABLE	
ZONING	GENERAL RETAIL
LAND USE	CHURCH / HOUSE OF WORSHIP
LOT AREA	7.03 AC (307,196 SF)
BUILDING AREA	53,904 SF
EXISTING SANCTUARY SEATS	194
PROPOSED SANCTUARY SEATS	819
TOTAL SANCTUARY SEATS	1,013
PROPOSED BUILDING HEIGHT	25 FEET
BUILDING STORIES	SINGLE STORY
FINISH FLOOR ELEVATION	540.3
LOT COVERAGE	17.50%
FLOOR AREA RATIO	0.1750
TOTAL PARKING REQUIRED	1 SPACE PER 4 WORSHIP SEATS
TOTAL PARKING REQUIRED	254
TOTAL PARKING PROVIDED	286
TOTAL HC PARKING REQ'D	7
TOTAL HC PARKING PROVIDED	9

- NOTE:
1. THE PROPOSED BUILDING EXPANSION SHALL BE ARCHITECTURALLY COMPATIBLE IN MATERIALS AND ARCHITECTURAL ELEMENTS TO THE EXISTING CHURCH FACILITY.
 2. PROPOSED PARKING STALLS ARE MEASURED TO 9 FOOT WIDTH BY 20 FOOT LENGTH.
 3. FIRELANE SHALL BE 6" DEPTH REINFORCED CONCRETE PAVEMENT OVER 6 INCHES OF LIME STABILIZED SUBGRADE.
 3. PARKING AREAS SHALL BE 5" DEPTH REINFORCED CONCRETE PAVEMENT OVER 6 INCHES OF LIME STABILIZED SUBGRADE.
 3. DUMPSTER PAD SHALL BE 7" DEPTH REINFORCED CONCRETE PAVEMENT OVER 6 INCHES OF LIME STABILIZED SUBGRADE.
 4. ANY ROOF MOUNTED EQUIPMENT SHALL BE SCREENED EITHER BY MOUNTED SCREENS OR BY ROOF PARAPET.

NOTE:
 LINEWORK BASED ON TOPOGRAPHIC SURVEY INFORMATION ACQUIRED ON 4/04/2025 BY WINDROSE SURVEYING AND LAND SERVICES, LLC

TEXAS ONE CALL
CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES

OWNER:
 RIDGEVIEW CHURCH
 1362 FM ROAD 552
 ROCKWALL, TEXAS 75087
 PHONE: 972.771.2661
 ATTN: FELIX TAN

ENGINEER:
 SUTHERLAND KING CONSULTING, LLC
 6430 MEADOWCREEK DRIVE
 DALLAS, TEXAS 75254
 PHONE: 214.208.0519
 ATTN: GRAYSON HUGHES, PE

SURVEYOR:
 WINDROSE SURVEYING & LAND SERVICES, LLC
 1959 LAKEWAY DRIVE
 LEWISVILLE, TEXAS 75057
 PHONE: 325.217.2544
 ATTN: CHAD ODEN

ROCKWALL SITE PLAN CASE No. _____

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE FOLLOWING DATE:
 APPROVAL DATE: _____

WITNESS OUR HANDS ON THIS _____ DAY OF _____, 2025

PLANNING & ZONING COMMISSION, CHAIR _____ PLANNING DIRECTOR _____

PROJECT NUMBER 2024.011

DRAWING DATE 2025.06.13

SCALE 1"=40'

DESIGNED BY GKH

SHEET NUMBER **C1.0**

SUTHERLAND KING
 6430 MEADOWCREEK DR
 DALLAS, TX 75254
 SUTHERLANDKING.COM
 TX FIRM NO. F-229938
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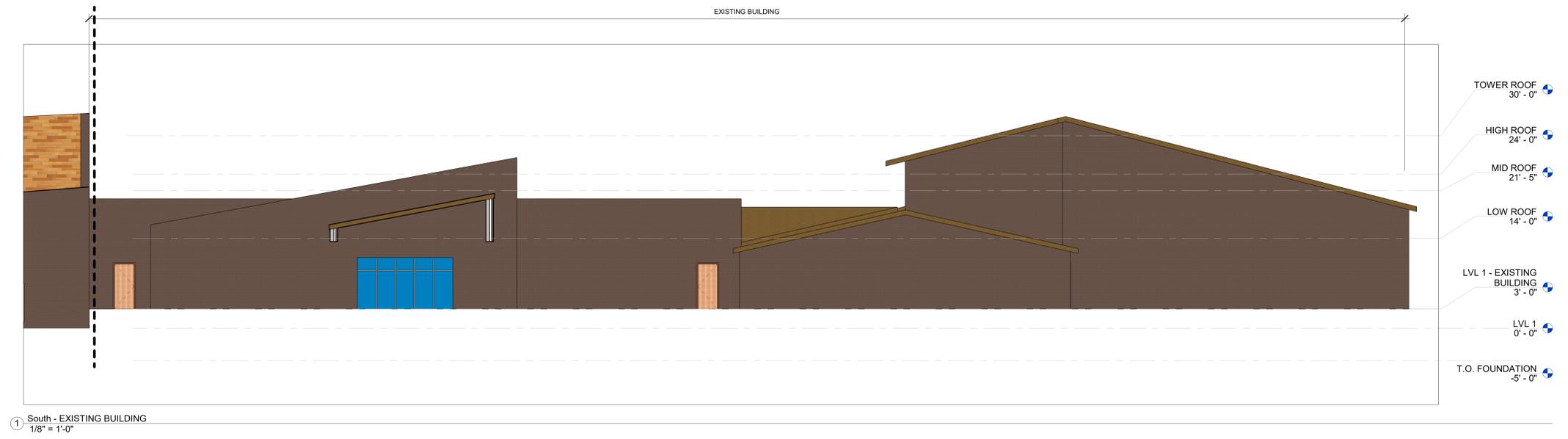
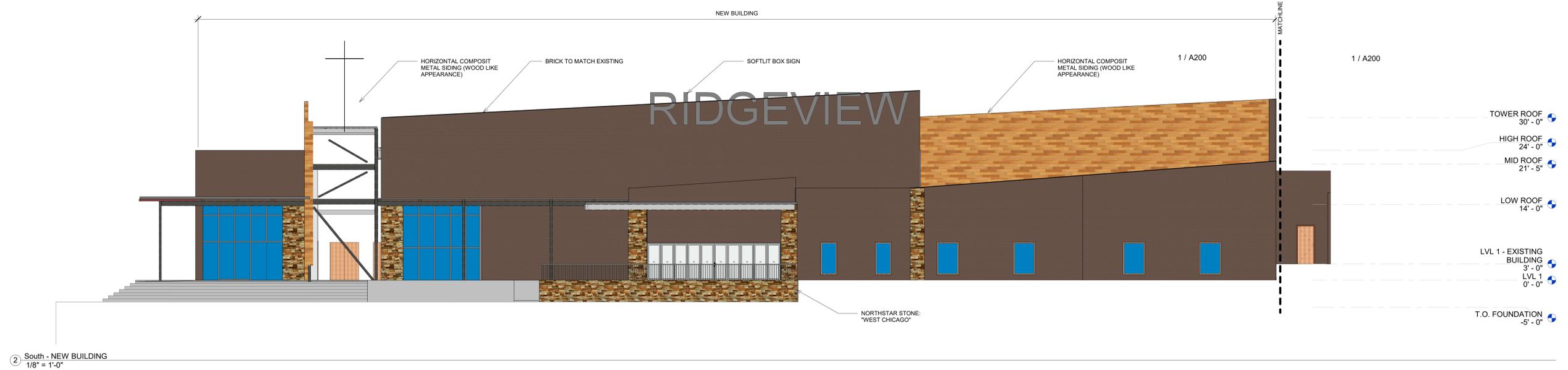
PRELIMINARY
 FOR PRELIMINARY REVIEW, PERMIT, OR PRICING PURPOSES ONLY.
 PREPARED BY:
 GRAYSON K. HUGHES, PE

SITE PLAN
 RIDGEVIEW CHURCH EXPANSION
 1362 EAST FM ROAD 552
 ROCKWALL, TEXAS

No.	DATE	DESCRIPTION

I H G F E D C B A

7
6
5
4
3
2
1



I H G F E D C B A

ISSUE/REVISION
DATE
NO.

OLESENZITZ
2715 E. STONE ROAD, WYILE, TEXAS 75087



PROJECT: RIDGEVIEW CHURCH EXPANSION
FM 552
ROCKWALL, TX 75087
SHEET TITLE: ELEVATIONS SOUTH FACE

A200

SCALE: 1/8" = 1'-0"

I H G F E D C B A

7

6

5

4

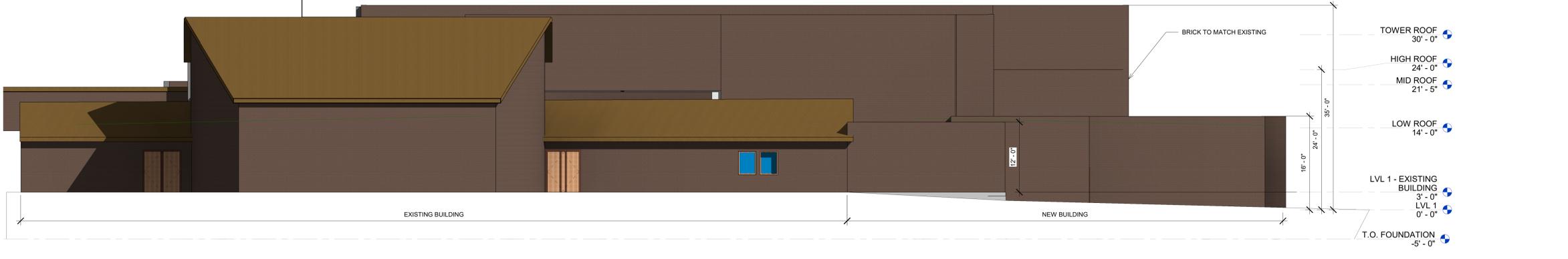
3

2

1



④ West
1/8" = 1'-0"



③ East
1/8" = 1'-0"

I H G F E D C B A

ISSUE/REVISION
DATE
NO.

OLESENITZ
2715 E. STONE ROAD, WYILE, TEXAS 75086



PROJECT: RIDGEVIEW CHURCH EXPANSION
FM 552
ROCKWALL, TX 75087

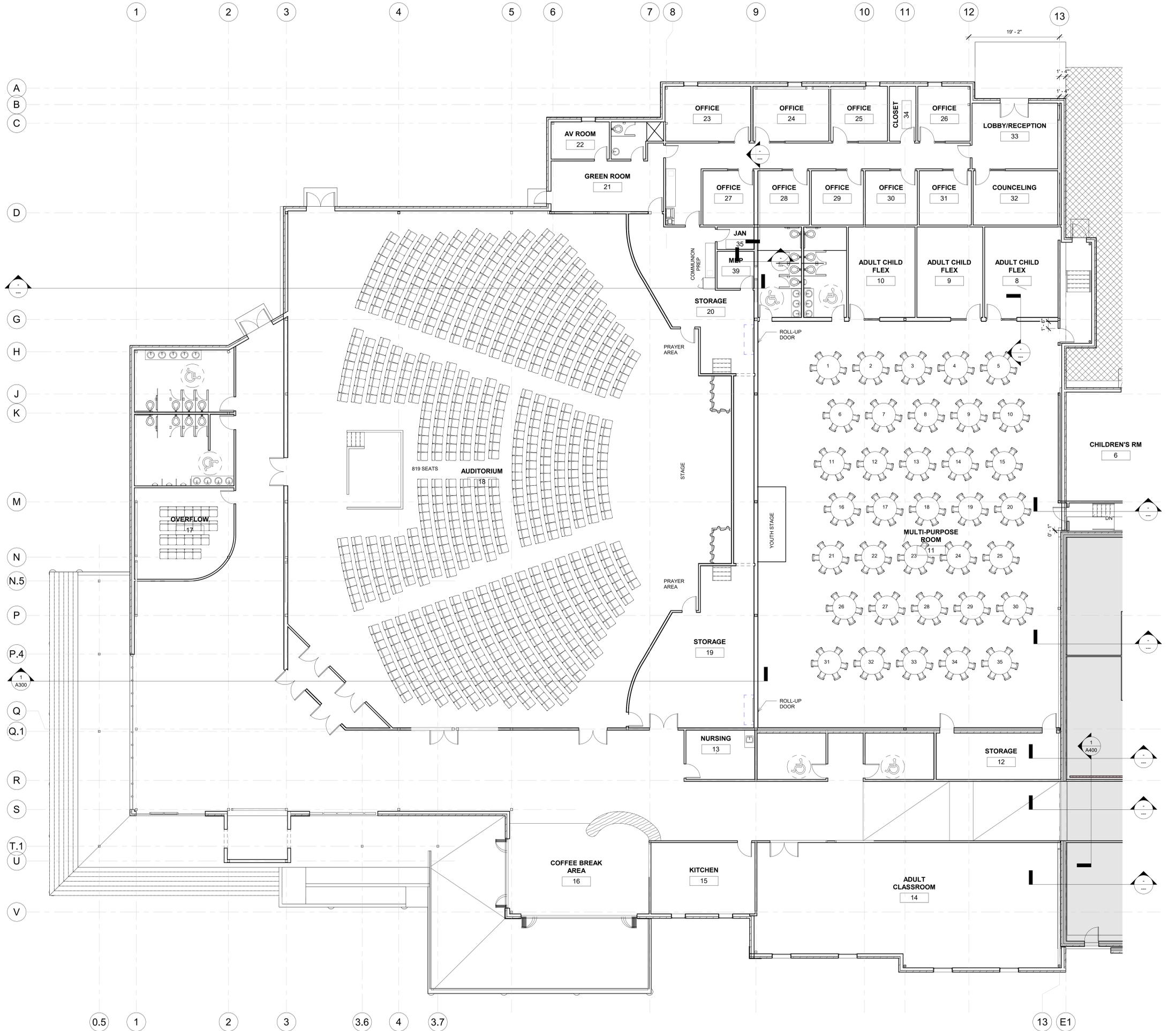
SHEET TITLE: ELEVATIONS (EAST AND WEST)

A201

SCALE: 1/8" = 1'-0"

CHILDREN'S INDOOR SPACE NOTES:
 1) 30 SF/CHILD OF INDOOR ACTIVITY SPACE
 2) 18-MO OLD CHILDREN MUST HAVE SEPERATE SPACES
 3) 1-SINK / 17 CHILDREN OVER 18-MO OLD
 4) 1-SINK IN EACH DIAPER CHANGING LOCATION

CHILDREN'S OUTDOOR SPACE NOTES:
 3) 80 SF/CHILD OF OUTDOOR SPACE USING OUTDOOR SPACE AT A GIVEN TIME (MIN 25% OF CHLD CAPACITY)
 4) 4' FENCE AROUND OUTDOOR PLAY SPACE
 5) 2 EXITS REQ'D (ONE TO THE INSIDE AND ONE OUT TO THE OPEN)



1 LVL 1
 1/8" = 1'-0"

ISSUE/REVISION
 DATE



PROJECT: RIDGEVIEW CHURCH EXPANSION
 FM 552
 ROCKWALL, TX 75087

SHEET TITLE: LEVEL 1 EXPANSION PLAN

A100

SCALE: 1/8" = 1'-0"

I H G F E D C B A

13 14 15 16 17 18 19 20



① LVL 1 CONT
1/8" = 1'-0"

ISSUE/REVISION
DATE

TEXAS FIRM NO. F38123 NO. DATE

REGISTERED ARCHITECT
J. J. SEWELL
24617
STATE OF TEXAS

PROJECT: RIDGEVIEW CHURCH EXPANSION
FM 552
ROCKWALL, TX 75087

SHEET TITLE: LEVEL 1 EXPANSION PLAN CONT.

A100-B

SCALE: 1/8" = 1'-0"

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, AND 7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLETT OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED:** PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/8" SIEVE; SALINITY SOLUBLE SALT CONTENT 15 TO 10 DECISIMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS; NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC:** 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING**
- STAKES: 6" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- M. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 10 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- N. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING, PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE USED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL NOT BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

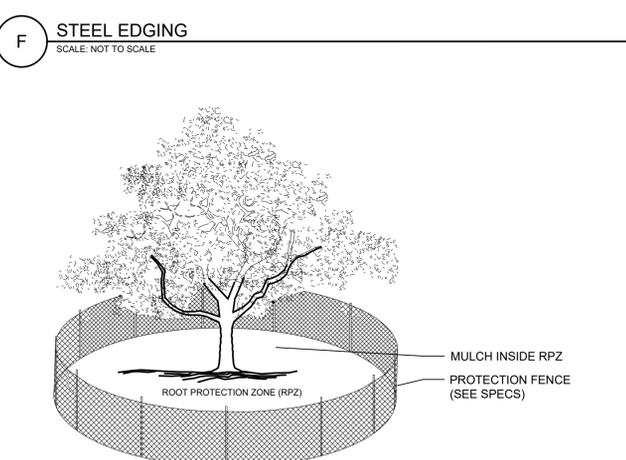
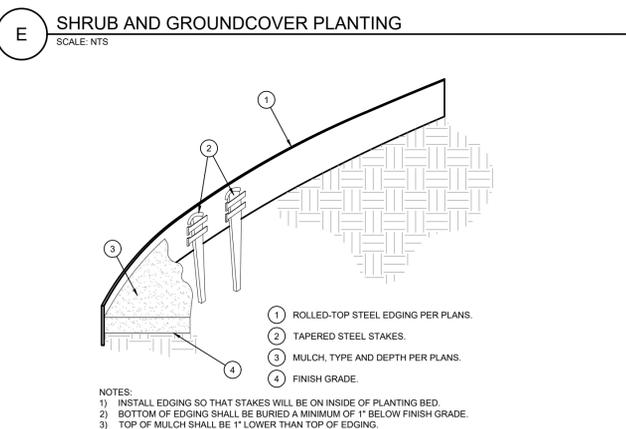
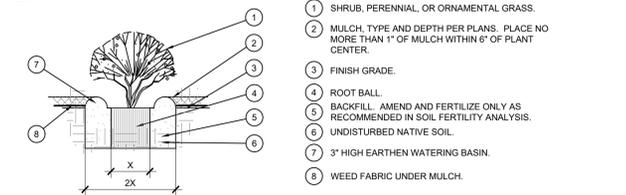
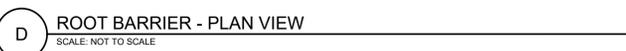
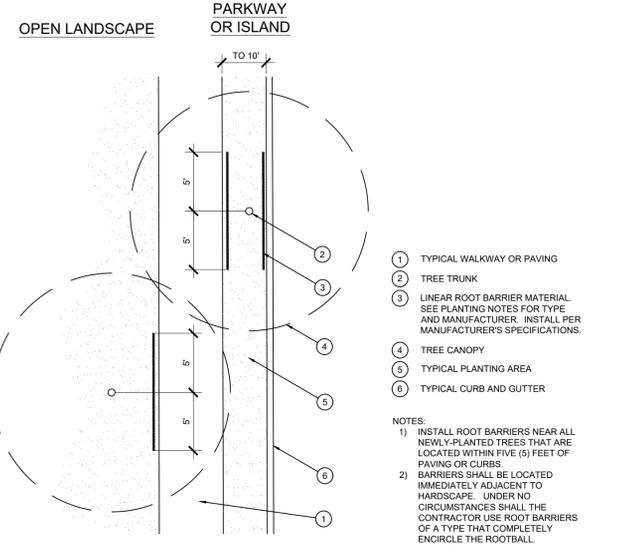
GENERAL GRADING & PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF SLOPED PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS OR CALLOUT (FOR GROUND COVER) SHALL PREVAIL.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

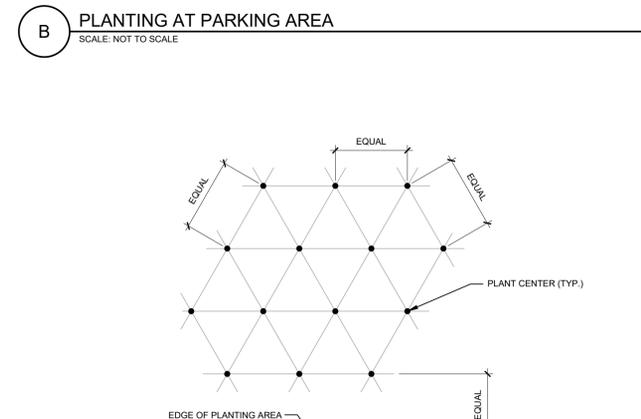
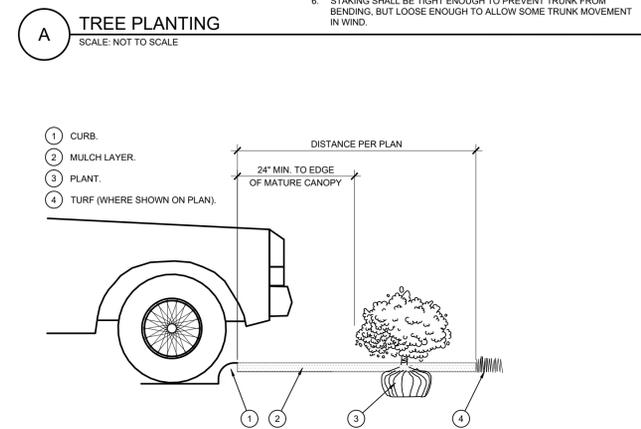
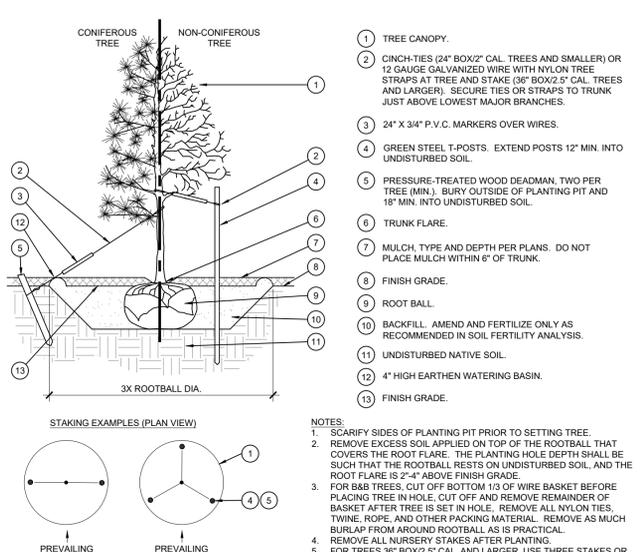
TEXAS ONE CALL

CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES

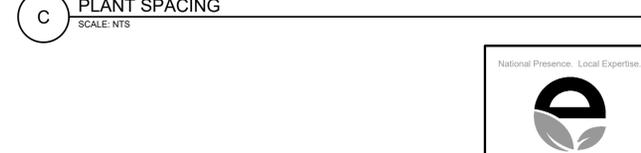
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE THE POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
 - TREE PLANTING
 - TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT 'TEASE' ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1-2" TREES: TWO STAKES PER TREE
 - 2-4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
 - SHRUB, PERENNIAL, AND GROUND COVER PLANTING
 - DO THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. USE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
 - SODDING
 - SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
 - CLEAN UP
 - DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
 - INSPECTION AND ACCEPTANCE
 - UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
 - LANDSCAPE MAINTENANCE
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWN, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL PROVIDE WATERING FOR THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.
 - WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
 - PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



- NOTES:**
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.



- NOTE:** ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.
- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
 TOTAL AREA / AREA DIVIDER = TOTAL PLANTS
- | PLANT SPACING | AREA DIVIDER | PLANT SPACING | AREA DIVIDER |
|---------------|--------------|---------------|--------------|
| 6" | 0.22 | 18" | 1.95 |
| 8" | 0.38 | 24" | 3.46 |
| 10" | 0.60 | 30" | 5.41 |
| 12" | 0.87 | 36" | 7.79 |
| 15" | 1.35 | | |
- 2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION
- EXAMPLE:** PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
 STEP 1: 100 SF / 1.95 = 51 PLANTS
 STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL



- TREE CANOPY.
- CINCH-TIES (24" BOX2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX2" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADEND, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE.
- MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 4" HIGH EARTHEN WATERING BASIN.
- FINISH GRADE.

- NOTES:**
- SHARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE DEEPER THAN THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
 - FOR 8&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 36" BOX25" CAL. AND LARGER, USE THREE STAKES OR DEADENERS (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

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6/12/2025

LANDSCAPE SPECIFICATIONS & DETAILS

RIDGEVIEW CHURCH EXPANSION
 1352 FM RD 552, ROCKWALL, TX

PROJECT NUMBER: 2024.011
 DRAWING DATE: 2025.06.12
 SCALE: AS NOTED
 DESIGNED BY:

SHEET NUMBER: LP-2

National Presence. Local Expertise.
EVERGREEN DESIGN GROUP
 800.680.6630
 www.evergreendesigngroup.com
 1352 FM RD 552, ROCKWALL, TX 75087

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).

- DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - ROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - ROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - ROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE COUNTY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREE RELOCATION GUIDELINES

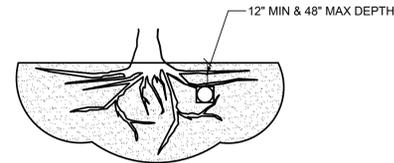
- TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
- IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
- ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
- TREES SHALL BE ROOT AND CANOPY PRUNED IN ACCORDANCE WITH SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPLANTING.
- DURING AND FOLLOWING TRANSPLANTING, THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
- TRANSPLANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR.
- TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE, A-300, TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES", AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN, RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.
- CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING AND MAINTENANCE OF TRANSPLANTED TREES DURING STORAGE PERIOD.

TEXAS ONE CALL

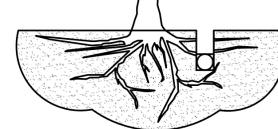
CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



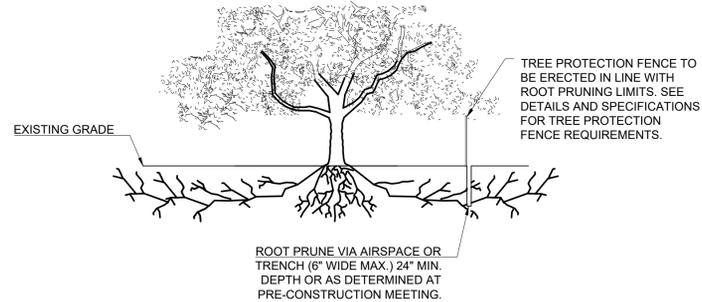
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

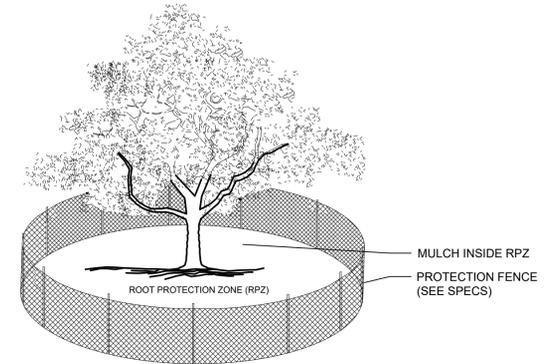
NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL

SCALE: NOT TO SCALE

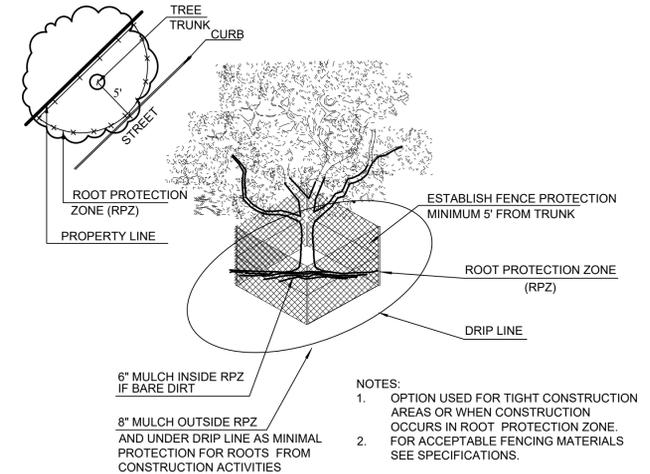


NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE

SCALE: NOT TO SCALE



B TREE PROTECTION FENCE - TIGHT CONSTRUCTION

SCALE: NOT TO SCALE

NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

No.	DATE	DESCRIPTION

SUTHERLAND KING
 6430 MEADOWCREEK DR
 DALLAS, TX 75254
 SUTHERLANDKING.COM
 TX FIRM No. F-22938
 PHONE: 214.208.0319

REGISTERED LANDSCAPE ARCHITECT
 STEPHEN W. KALES
 STATE OF TEXAS
 3470
 06/12/2025

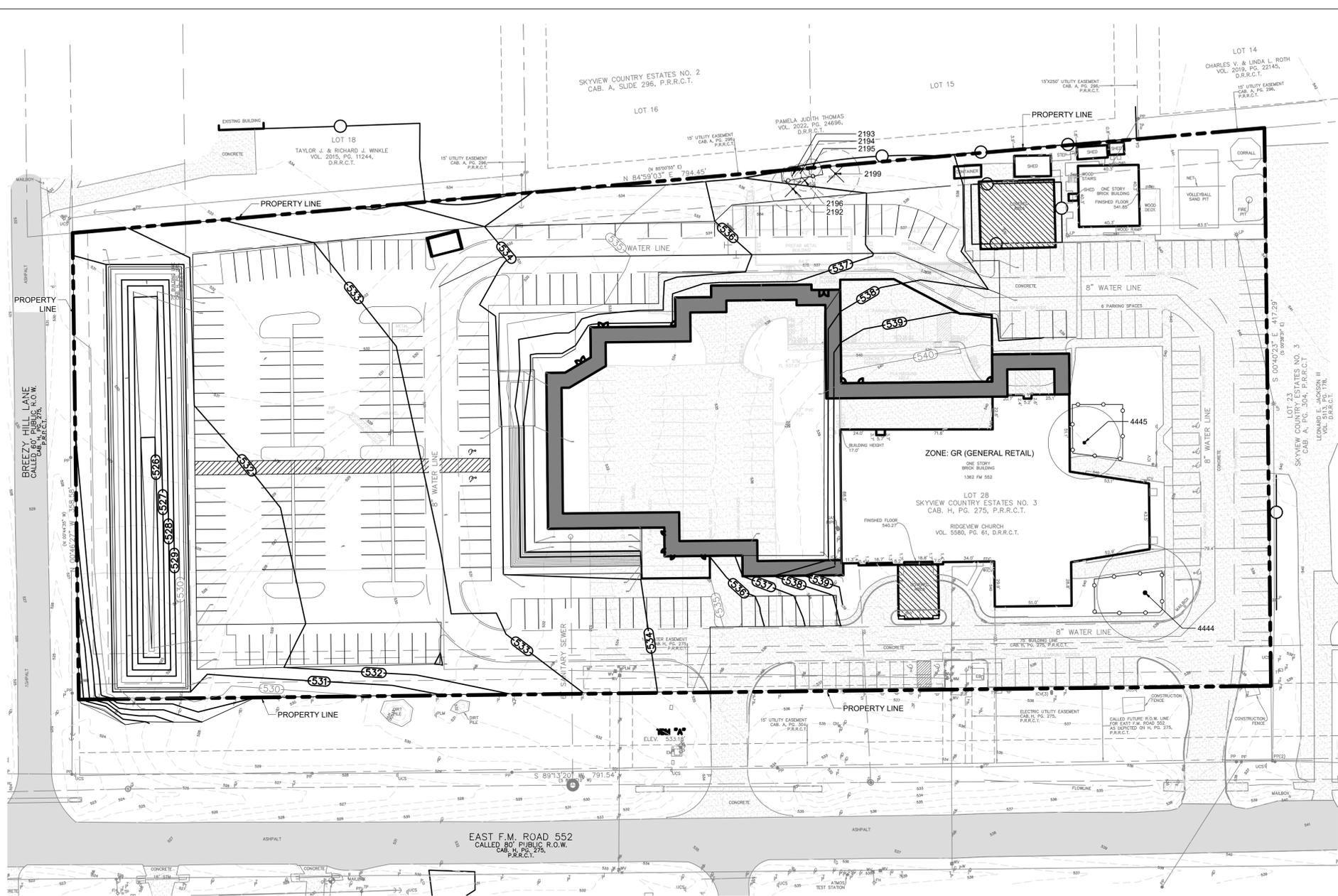
TREE PROTECTION & SPECIFICATIONS & DETAILS
 RIDGEVIEW CHURCH EXPANSION
 1352 FM RD 552, ROCKWALL, TX

PROJECT NUMBER	2024.011
DRAWING DATE	2025.06.12
SCALE	AS NOTED
DESIGNED BY	

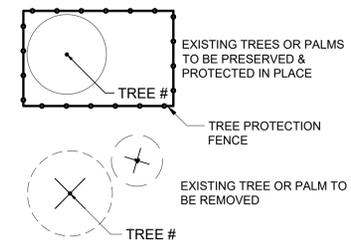
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 www.evergreendesigngroup.com
 LANDSCAPE ARCHITECTURE
 LAND PLANNING • IRRIGATION DESIGN

SHEET NUMBER
TD-2



LEGEND



THE DEVELOPER SHALL ERECT AN ORANGE PLASTIC MESH FENCE, OR OTHER APPROVED FENCING MATERIAL, A MINIMUM OF FOUR FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS, EQUIPMENT, OR FILL WITHIN THE DRIPLINE OR CRITICAL ROOT ZONE. THE FENCE SHALL BE INSTALLED PRIOR TO THE RELEASE OF ANY PERMIT. IF THE PROTECTION FENCE IS FOUND REMOVED, DAMAGED, OR ALTERED AT ANY TIME DURING CONSTRUCTION PRIOR TO FINAL INSPECTION OR LANDSCAPE INSTALLATION, A STOP WORK ORDER MAY BE ISSUED BY THE BUILDING OFFICIAL.

TREE INVENTORY

RIDGEVIEW CHURCH, ROCKWALL TX						
LAST UPDATED:		25-06-12				
TREE ID	SPECIES	DBH (INCHES)	STATUS	MITIGATION (INCHES)	PRESERVATION CREDIT	NOTES
2192	WILLOW	15	TO REMOVE			NOT PROTECTED/ FEATURE TREE
2193	CEDAR	6	REMAIN			NOT PROTECTED (<11")
2194	OAK	6	REMAIN			
2195	OAK	6	REMAIN			
2196	HACKBERRY	7	TO REMOVE			NOT PROTECTED (<11")
2199	WILLOW	16	TO REMOVE			NOT PROTECTED/ FEATURE TREE
4444	AMERICAN OAK	32	REMAIN			
4445	OAK	24	REMAIN			
TOTAL DBH		112				
TOTAL DBH REMOVED		38				ALL REMOVED TREES ARE NOT PROTECTED
MITIGATION				0	0	MAX PRESERVATION IS 20% OF TOTAL REPLACEMENT INCHES
TOTAL MITIGATION REQUIRED				0		

SITE VICINITY MAP, NTS



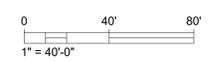
TREE PROTECTION GENERAL NOTES

- (A) REMOVED
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED, WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY STAFF, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY STAFF MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY STAFF, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TEXAS ONE CALL
CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



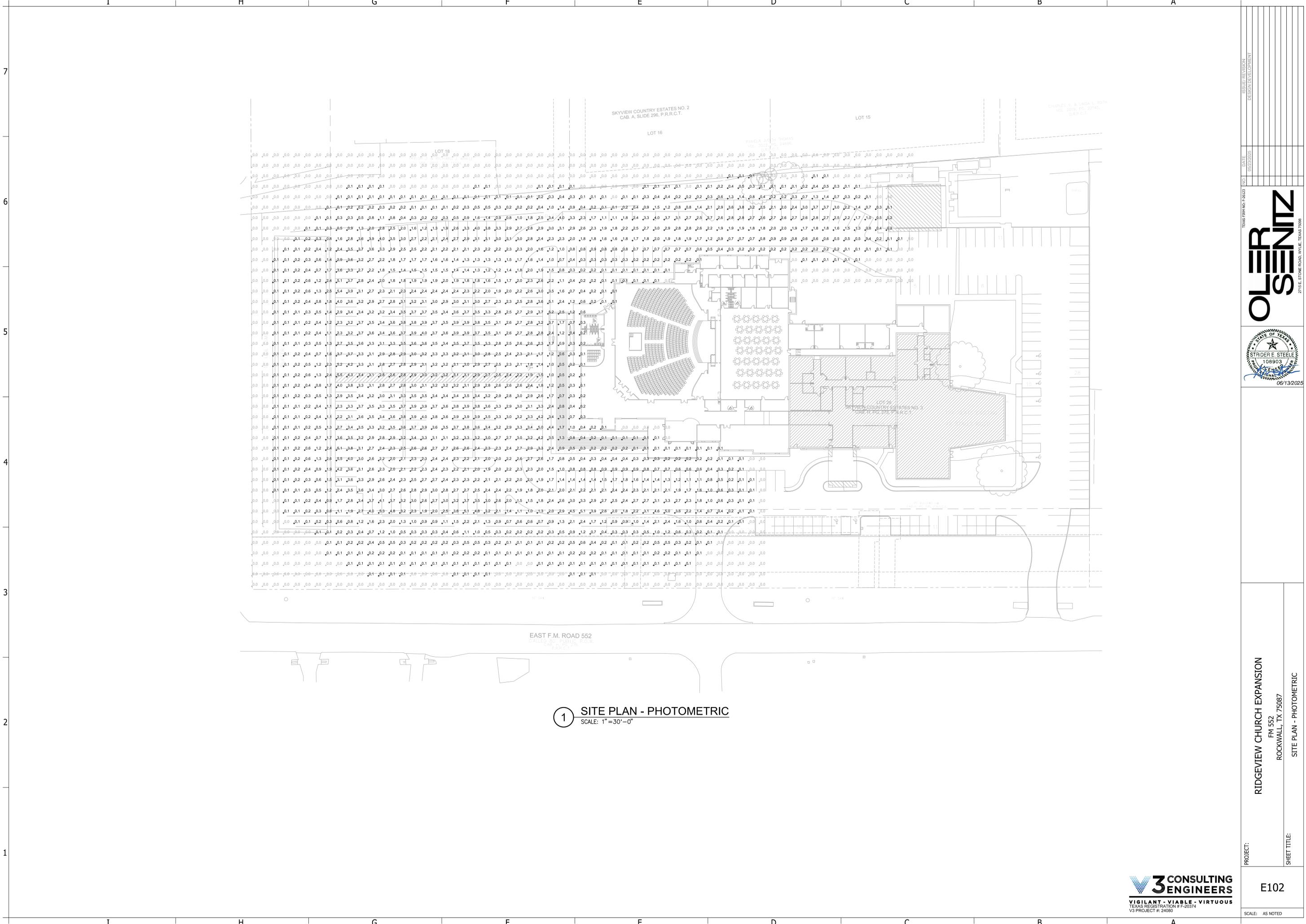
No.	DATE	DESCRIPTION

SUTHERLAND KING
 8430 MEADOWCREEK DR
 DALLAS, TX 75254
 SUTHERLANDKING.COM
 TX FIRM NO. F-22938
 PHONE: 214.208.0519



TREE DISPOSITION PLAN
 RIDGEVIEW CHURCH EXPANSION
 1352 FM RD 552, ROCKWALL, TX

PROJECT NUMBER	2024.011
DRAWING DATE	2025.06.12
SCALE	AS NOTED
DESIGNED BY	
SHEET NUMBER	TD-1



1 SITE PLAN - PHOTOMETRIC
SCALE: 1"=30'-0"

ISSUE/REVISION	DATE	BY	CHK
DESIGN DEVELOPMENT	02/22/2025		
<p>TEXAS FIRM NO. 24823</p> <p>OLESENITZ</p> <p>2715 E. STONE ROAD, WYLLIE, TEXAS 75098</p>			
<p>STATE OF TEXAS</p> <p>FRIDRICH STEUDEL</p> <p>106903</p> <p>06/13/2025</p>			
PROJECT:	RIDGEVIEW CHURCH EXPANSION		
SHEET TITLE:	SITE PLAN - PHOTOMETRIC		
SCALE:	AS NOTED		
E102	<p>FM 552</p> <p>ROCKWALL, TX 75087</p>		
<p>3 CONSULTING ENGINEERS</p> <p>VIGILANT - VIABLE - VIRTUOUS</p> <p>TEXAS REGISTRATION # F-20374</p> <p>VG PROJECT #: 24080</p>			



RSX2 LED Area Luminaire

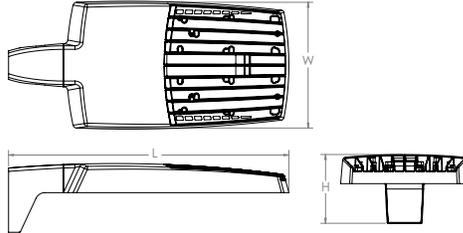


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft ² @0°):	0.69 ft ² (0.06 m ²)
Length:	29.3" (74.4 cm) (SPA mount)
Width:	13.4" (34.0 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.3 cm) Arm
Weight: (SPA mount)	30.0 lbs (13.6 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

ds Design Select options indicated by this color background.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX2 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁶ AARP Adjustable tilt arm round pole mounting ⁶ AAWB Adjustable tilt arm with wall bracket ⁶ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶

Options	Finish
<p>Shipped Installed</p> <p>HS House-side shield⁷</p> <p>PE Photocontrol, button style^{8,9}</p> <p>PER7 Seven-wire twist-lock receptacle only (no controls)^{9,10,11}</p> <p>SF Single fuse (120, 277, 347)⁵</p> <p>DF Double fuse (208, 240, 480)⁵</p> <p>SPD20KV 20KV Surge pack (10KV standard)</p> <p>FAO Field adjustable output⁹</p> <p>DMG 0-10V dimming extend out back of housing for external control (control ordered separate)⁹</p> <p>DS Dual switching^{9,12}</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured Dark Bronze</p> <p>DBLTXD Textured Black</p> <p>DNATXD Textured Natural Aluminum</p> <p>DWHGXD Textured White</p>
<p>Shipped Installed</p> <p>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</p> <p>NLTAIR2 PIRHN nLight AIR generation 2, with Networked, Bi-Level motion/ambient sensor^{9,13,14,15}</p> <p>BAA Buy America(n) Act and/or Build America Buy America Qualified</p> <p>CCE Coastal Construction¹⁶</p> <p>*Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.</p> <p>Shipped Separately (requires some field assembly)</p> <p>EGS External glare shield⁷</p> <p>EGFV External glare full visor (360° around light aperture)⁷</p> <p>BS Bird spikes¹⁷</p>	



Ordering Information

Accessories

Ordered and shipped separately.

RSX2HS	RSX2 House side shield (includes 2 shields)
RSX2EGS (FINISH) U	External glare shield (specify finish)
RSX2HSFRR (FINISH) U	RSX2 House side shields for AFR rotated optics (includes 2 shields)
RSX2EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSBC (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁸
DL1347F 1.5 CULJU	Photocell -SSL twist-lock (347V) ¹⁸
DL1480F 1.5 CULJU	Photocell -SSL twist-lock (480V) ¹⁸
DSHORT SBK U	Shorting cap ¹⁸

NOTES

- 1 Any Type 5 distribution, is not available with WBA.
- 2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 3 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 4 XVOLT driver not available with P1. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE.
- 5 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 6 Maximum tilt is 90° above horizontal.
- 7 It may be ordered as an accessory.
- 8 Requires MVOLT or 347V.
- 9 Two or more of the following options cannot be combined including PE, DMG, PER7, FAO, DS and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- 10 Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming signals. Wire 4/Wire 5 wired to dimming leads on driver. Wire 6/Wire 7 capped inside luminaire. Twistlock photocell ordered and shipped

- as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 11 For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
 - 12 DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P5 and P6.
 - 13 Must be ordered with PIRHN.
 - 14 Requires MVOLT or HVOLT.
 - 15 Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
 - 16 CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBSC, EGS, EGFV and BS.
 - 17 Must be ordered with fixture for factory pre-drilling.
 - 18 Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

External Shields



House Side Shield



External Glare Shield

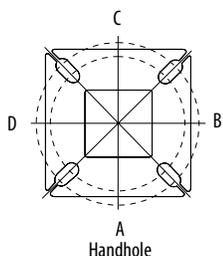


External 360 Full Visor

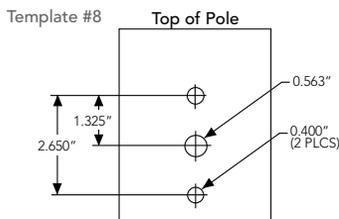
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

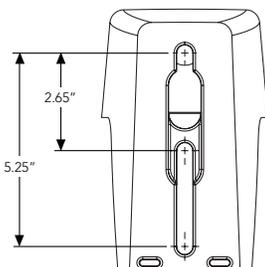
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2 - 3/8"	RPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX2 - Luminaire EPA

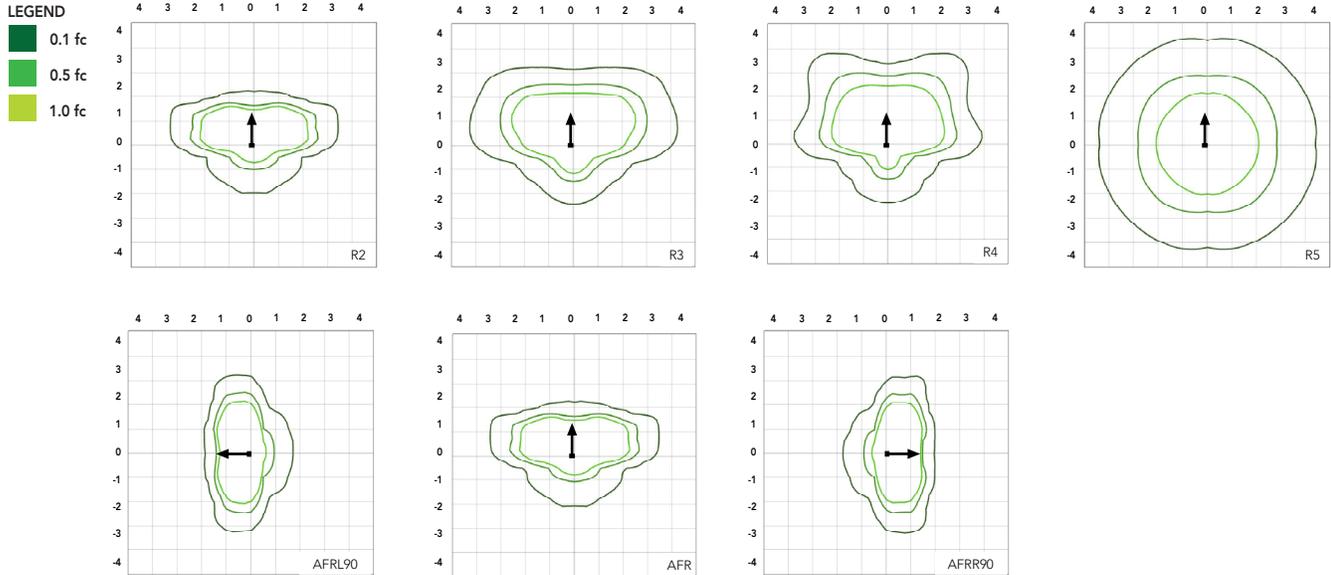
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
SPA - Square Pole Adaptor	0.69	1.22	1.27	1.8	1.61	2.39	1.37	2.06	2.74
RPA - Round Pole Adaptor	0.74	1.27	1.37	1.9	1.71	2.49	1.42	2.16	2.84
MA - Mast Arm Adaptor	0.61	1.14	1.11	1.64	1.45	2.23	1.29	1.9	2.58
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0.69	1.22	1.27	1.8	1.61	2.39	1.37	2.06	2.74
	10°	0.53	1.06	1.05	1.58	1.37	2.08	1.06	1.59
	20°	0.52	1.02	1.03	1.52	1.33	2.02	1.03	1.55
	30°	0.64	1.11	1.18	1.63	1.45	2.21	1.27	1.91
	40°	0.81	1.21	1.35	1.74	1.65	2.39	1.62	2.43
	45°	0.91	1.25	1.5	1.81	1.75	2.48	1.82	2.73
	50°	1.34	1.83	2.17	2.61	2.56	3.62	2.68	4.02
	60°	2.2	2.97	3.57	4.24	4.17	5.89	4.41	6.61
	70°	2.86	4.13	4.7	5.89	5.71	8.21	5.71	8.57
	80°	3.4	5.13	5.67	7.34	7.09	10.21	6.79	10.19
	90°	3.85	5.96	6.55	8.58	8.31	11.88	7.70	11.56

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

Isofootcandle plots for the RSX2 LED P6 40K. Distances are in units of mounting height (30').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	71W	0.59	0.34	0.30	0.26	0.20	0.15
P2	111W	0.93	0.53	0.46	0.40	0.32	0.23
P3	147W	1.23	0.70	0.61	0.53	0.42	0.31
P4	187W	1.55	0.90	0.78	0.68	0.53	0.38
P5	210W	1.75	1.01	0.87	0.76	0.60	0.44
P6	244W	2.03	1.17	1.01	0.88	0.70	0.51

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

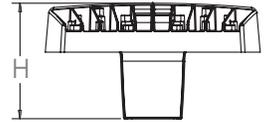
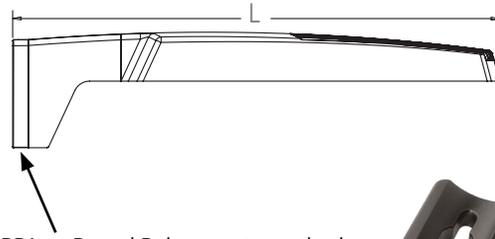
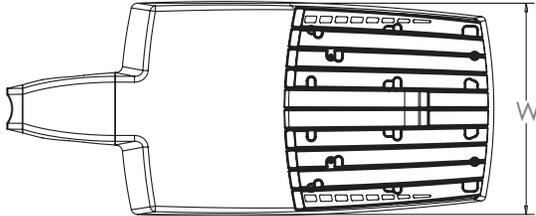
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	71W	R2	10,040	2	0	1	139	11,031	2	0	1	153	11,031	2	0	1	153
		R3	10,005	2	0	2	141	10,992	2	0	2	155	10,992	2	0	2	155
		R3S	10,271	2	0	2	143	11,285	2	0	2	157	11,285	2	0	2	157
		R4	10,136	2	0	2	143	11,136	2	0	2	157	11,136	2	0	2	157
		R4S	9,779	2	0	2	138	10,744	2	0	2	151	10,744	2	0	2	151
		R5	10,271	4	0	2	145	11,285	4	0	2	159	11,285	4	0	2	159
		R5S	10,544	3	0	1	149	11,585	3	0	2	163	11,585	3	0	2	163
		AFR	10,026	2	0	1	141	11,016	2	0	1	155	11,016	2	0	1	155
		AFRR90	10,122	3	0	2	140	11,121	3	0	2	154	11,121	3	0	2	154
		AFRL90	10,164	3	0	2	141	11,167	3	0	2	155	11,167	3	0	2	155
P2	111W	R2	15,712	2	0	2	138	17,263	2	0	2	151	17,263	2	0	2	151
		R3	15,657	2	0	3	141	17,202	3	0	3	155	17,202	3	0	3	155
		R3S	16,075	2	0	2	141	17,661	2	0	2	155	17,661	2	0	2	155
		R4	15,862	2	0	3	143	17,427	2	0	3	157	17,427	2	0	3	157
		R4S	15,304	2	0	2	138	16,815	2	0	2	151	16,815	2	0	2	151
		R5	16,075	4	0	2	145	17,661	5	0	3	159	17,661	5	0	3	159
		R5S	16,502	4	0	2	149	18,130	4	0	2	163	18,130	4	0	2	163
		AFR	15,691	2	0	2	141	17,240	2	0	2	155	17,240	2	0	2	155
		AFRR90	15,841	3	0	3	139	17,404	4	0	3	153	17,404	4	0	3	153
		AFRL90	15,907	3	0	3	139	17,477	4	0	3	153	17,477	4	0	3	153
P3	147W	R2	19,855	3	0	2	132	21,814	3	0	2	145	21,814	3	0	2	145
		R3	19,785	3	0	3	135	21,737	3	0	4	148	21,737	3	0	4	148
		R3S	20,312	3	0	3	135	22,317	3	0	3	149	22,317	3	0	3	149
		R4	20,044	3	0	3	136	22,022	3	0	4	150	22,022	3	0	4	150
		R4S	19,339	3	0	3	132	21,247	3	0	3	145	21,247	3	0	3	145
		R5	20,313	5	0	3	138	22,317	5	0	3	152	22,317	5	0	3	152
		R5S	20,852	4	0	2	142	22,910	4	0	2	156	22,910	4	0	2	156
		AFR	19,828	3	0	2	135	21,785	3	0	2	148	21,785	3	0	2	148
		AFRR90	20,017	4	0	3	133	21,992	4	0	3	147	21,992	4	0	3	147
		AFRL90	20,101	4	0	3	134	22,084	4	0	3	147	22,084	4	0	3	147
P4	187W	R2	22,836	3	0	2	120	25,090	3	0	2	132	25,090	3	0	2	132
		R3	22,756	3	0	4	122	25,002	3	0	4	134	25,002	3	0	4	134
		R3S	23,363	3	0	3	123	25,668	3	0	3	135	25,668	3	0	3	135
		R4	23,054	3	0	4	123	25,329	3	0	4	135	25,329	3	0	4	135
		R4S	22,243	3	0	3	119	25,059	3	0	3	134	25,059	3	0	3	134
		R5	23,363	5	0	3	125	25,669	5	0	4	137	25,669	5	0	4	137
		R5S	23,983	4	0	2	128	26,350	4	0	2	141	26,350	4	0	2	141
		AFR	22,806	3	0	2	122	25,056	3	0	2	134	25,056	3	0	2	134
		AFRR90	23,023	4	0	3	121	25,295	4	0	3	133	25,295	4	0	3	133
		AFRL90	23,120	4	0	3	122	25,401	4	0	3	134	25,401	4	0	3	134
P5	210W	R2	26,141	3	0	2	122	28,721	3	0	2	135	28,721	3	0	2	135
		R3	26,049	3	0	4	124	28,620	3	0	4	136	28,620	3	0	4	136
		R3S	26,744	3	0	3	125	29,383	3	0	4	138	29,383	3	0	4	138
		R4	26,390	3	0	4	126	28,994	3	0	4	138	28,994	3	0	4	138
		R4S	25,462	3	0	3	121	27,974	3	0	3	133	27,974	3	0	3	133
		R5	26,744	5	0	4	127	29,383	5	0	4	140	29,383	5	0	4	140
		R5S	27,454	4	0	2	131	30,163	4	0	2	144	30,163	4	0	2	144
		AFR	26,106	3	0	2	124	28,682	3	0	2	137	28,682	3	0	2	137
		AFRR90	26,354	4	0	3	123	28,955	5	0	3	136	28,955	5	0	3	136
		AFRL90	26,465	4	0	3	124	29,077	5	0	3	136	29,077	5	0	3	136
P6	244W	R2	27,646	3	0	2	112	30,374	3	0	2	123	30,374	3	0	2	123
		R3	27,549	3	0	4	113	30,267	3	0	4	124	30,267	3	0	4	124
		R3S	28,283	3	0	3	115	31,075	3	0	4	126	31,075	3	0	4	126
		R4	27,909	3	0	4	114	30,663	3	0	4	126	30,663	3	0	4	126
		R4S	26,928	3	0	3	110	29,585	3	0	3	121	29,585	3	0	3	121
		R5	28,284	5	0	4	116	31,075	5	0	4	127	31,075	5	0	4	127
		R5S	29,035	4	0	2	119	31,900	5	0	3	131	31,900	5	0	3	131
		AFR	27,608	3	0	2	112	30,332	3	0	2	123	30,332	3	0	2	123
		AFRR90	27,872	4	0	3	113	30,622	5	0	3	124	30,622	5	0	3	124
		AFRL90	27,989	4	0	3	113	30,751	5	0	3	125	30,751	5	0	3	125

Dimensions & Weights

Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	30 lbs
RPA	32 lbs
MA	30 lbs
WBA	33 lbs
WBASC	36 lbs
IS	33 lbs
AASP	33 lbs
AARP	35 lbs
AAWB	36 lbs
AAWSC	39 lbs

RSX2 with Round Pole Adapter (RPA)

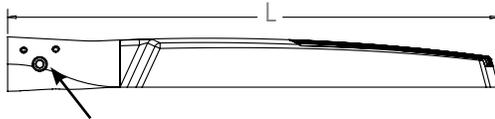
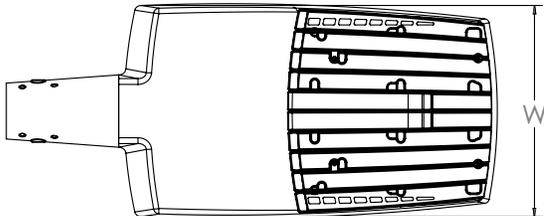


Length: 30.3" (77.0 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm

Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



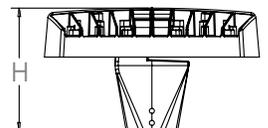
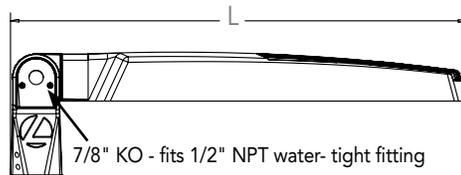
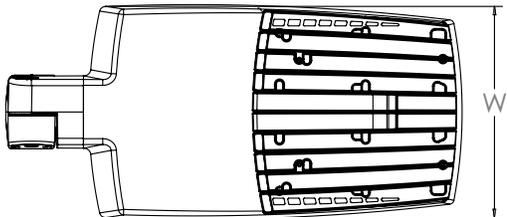
RSX2 with Mast Arm Adapter (MA)



Length: 30.6" (77.7 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.5" (8.9 cm) Arm

7/16" locking thru bolt/nut provided

RSX2 with Adjustable Slipfitter (IS)

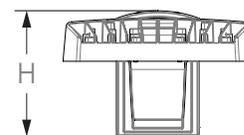
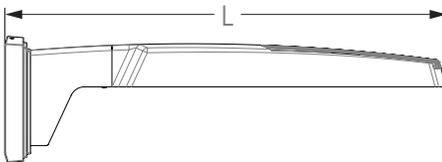
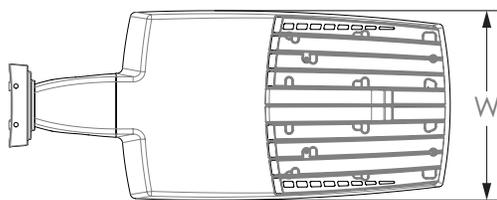


Length: 28.3" (71.9 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm

7/8" KO - fits 1/2" NPT water-tight fitting

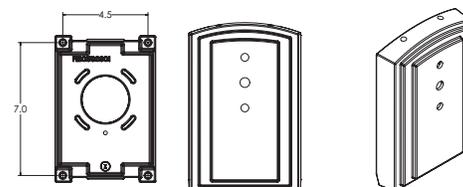
Dimensions

RSX2 with Wall Bracket (WBA)

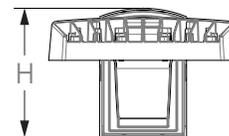
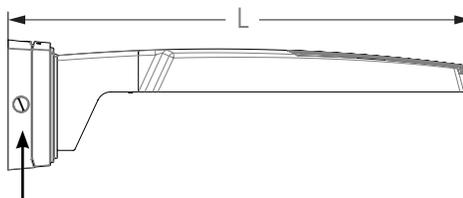
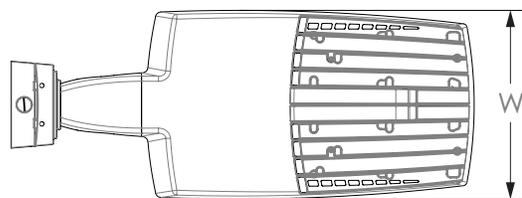


Length: 31.2" (79.2 cm)
 Width: 13.4" (41.7 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



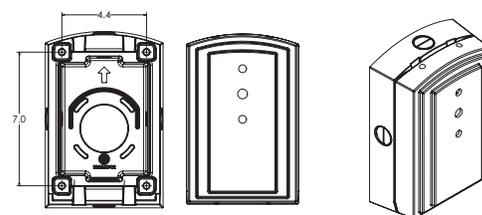
RSX2 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

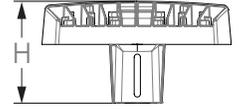
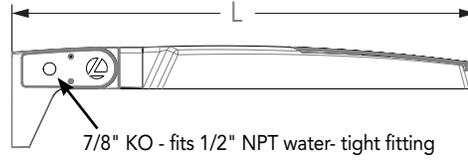
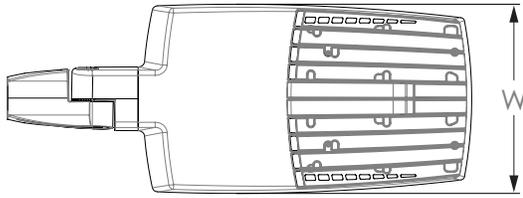
Length: 32.8" (83.3 cm)
 Width: 13.4" (41.7 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail

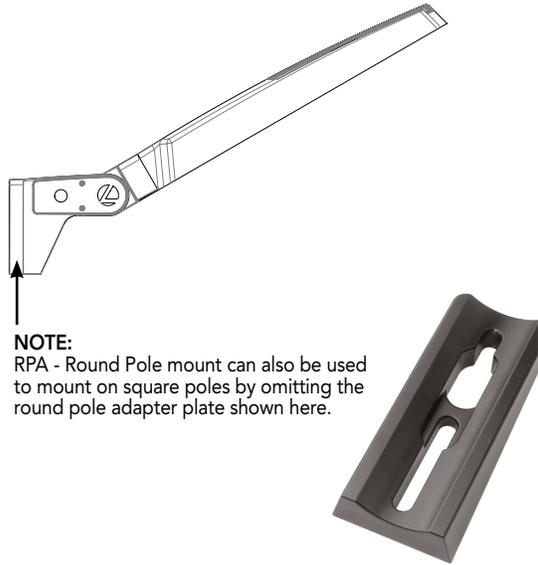


Dimensions

RSX2 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



Length: 32.8" (83.3 cm) **AASP**
 33.8" (85.9 cm) **AARP**
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.2 cm) Arm



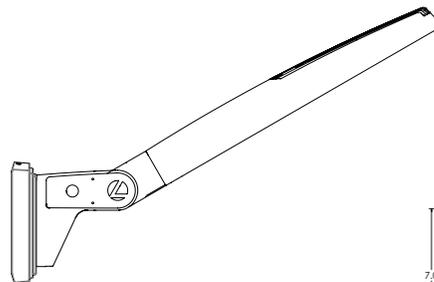
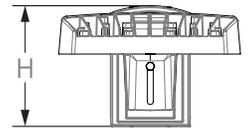
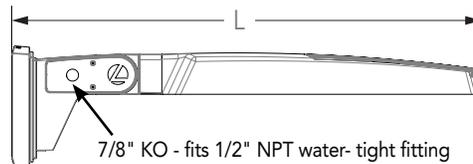
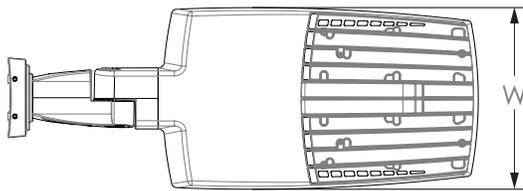
NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

Notes

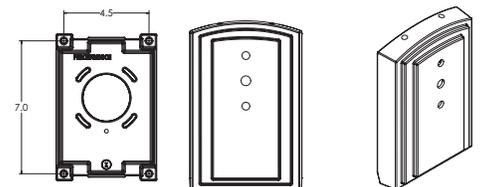
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

RSX2 with Adjustable Tilt Arm with Wall Bracket (AAWB)



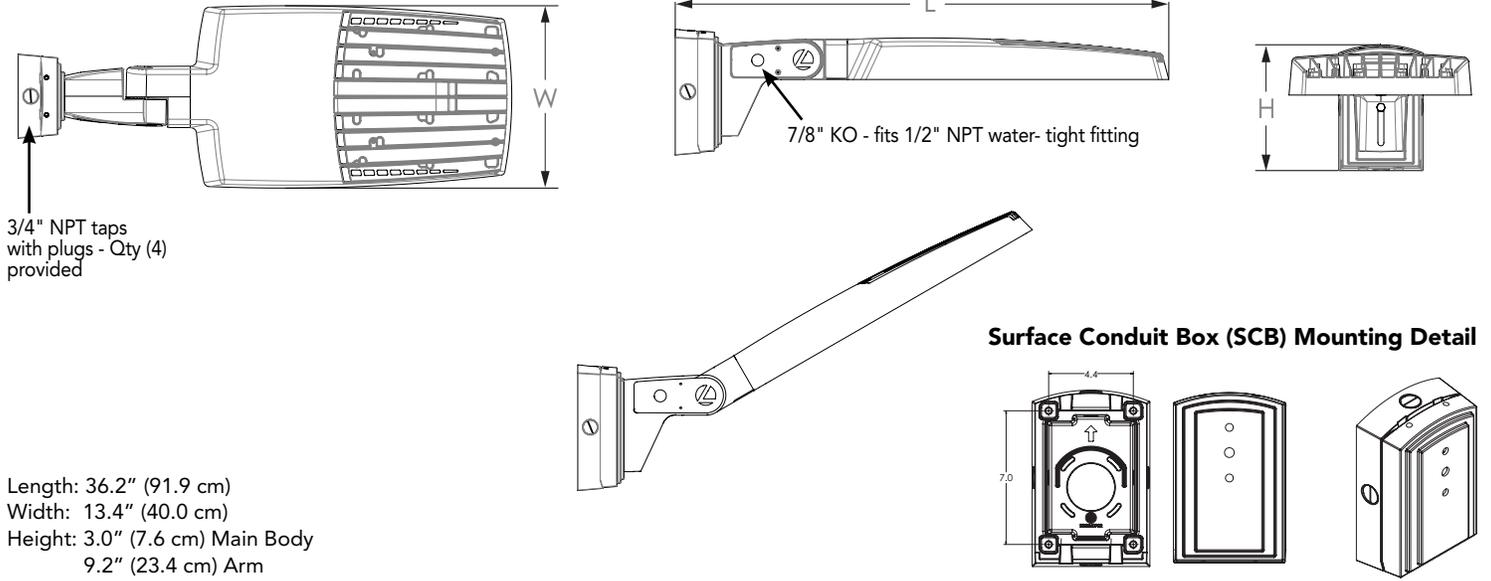
Wall Bracket (WBA) Mounting Detail



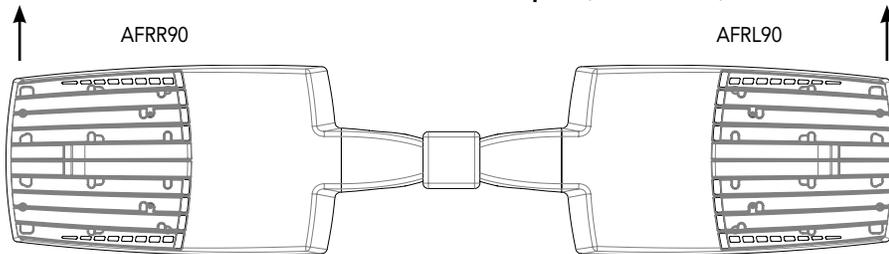
Length: 34.7" (88.0 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Dimensions

RSX2 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)



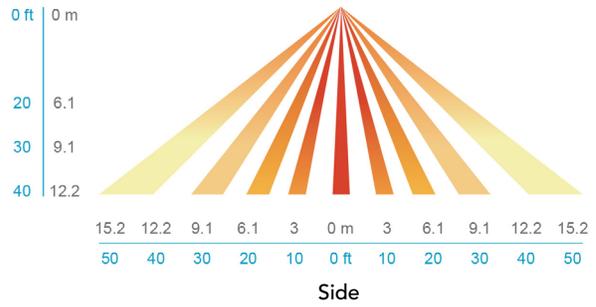
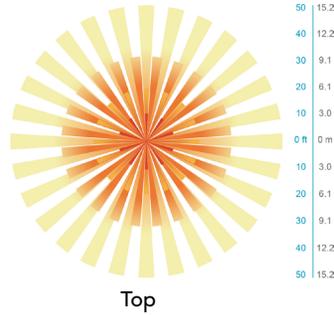
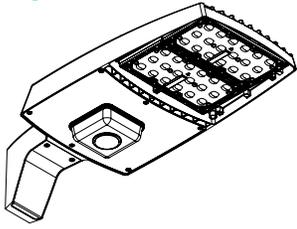
Automotive Front Row - Rotated Optics (AFRL90/R90)



(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

nLight Control - Sensor Coverage and Settings

NLTAIR2 PIRHN nLight Sensor Coverage Pattern nLight PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX2 delivers 11,000 to 31,000 lumens and is ideal for replacing 250W to 1000W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION AND DESIGN

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. Vibration rated per ANSI C136.31: 3G Mountings: Include SPA, RPA, MA, IS, AASP, AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warranted not to crack or peel.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row) and AFR rotated AFRR90 and ARFL90.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times apply.

ELECTRICAL

Light engine(s) configurations consist of high-efficiency LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. US Patent No. D882, 146S

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations. BABA – Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

